

**Loxahatchee River District**  
**ITB # 25-003-00142**  
**A1A FORCE MAIN REPLACEMENT**

**Addendum Number 2**  
**(w/Bid Clarifications)**

July 31, 2025

The following clarifications are hereby made to the bidding documents for the above referenced project.

Acknowledge receipt of the addendum by inserting its number on Page 20 of the bid. Failure to do so may subject the bidder to disqualification.

This Addendum consists of TWO (2) pages and the following attachments:

**1. Section 01050 Measurement and Payment, Page 9 (1-page)**

DELETE Page 01050-9 and INSERT revised page 01050- 9. *Note revision to Item 4.h in italics.*

**2. Section 01060 Regulatory Requirements and Notifications (2-pages)**

DELETE This Section in its entirety and INSERT the revised pages

**3. Appendices**

- Appendix F. Draft Palm Beach County R/W Construction Utility Permit
- Appendix H. Draft Sewer Easement Deed
- Design Plans (Sheets C-1 thru C-16)

**4. A1A Force Main Replacement Pre-Bid Conference Meeting Minutes**

**5. The following addresses questions/clarifications:**

- i. Items 8.d and 8.h have a quantity of one (1) unit job/unit cost as LS. Are we putting a price on these items?

Yes. Item 8.d (Mechanical Restraints on Exist. Force Main) and Item 8.h (Thermo-Plastic Striping) will be paid for on a Lump Sum (LS) basis for the work performed. Refer to Section 01050, Measurement and Payment, for a description of work to be paid under this item.

**END OF ADDENDUM 2**

**LOXAHATCHEE RIVER DISTRICT  
ITB # 25-003-00142  
A1A FORCE MAIN REPLACEMENT**

**ADDENDUM ACKNOWLEDGEMENT FORM**

The undersigned Bidder acknowledges receipt of Addenda as listed below:

Receipt of Addendum No. 1 Date \_\_\_\_\_

Receipt of Addendum No. 2 Date \_\_\_\_\_

Firm: \_\_\_\_\_

By: \_\_\_\_\_

Title: \_\_\_\_\_

**Please include this completed Addendum Acknowledgement Form with  
your Qualification Submittal**

**SECTION 01050**  
**MEASUREMENT AND PAYMENT**

- f. 1-INCH MILL AND RESURFACE W/ SP 9.5: The quantity to be paid for under this Section shall be to the nearest square yard as shown on the drawings, complete and accepted.

Measurement shall be on a square yardage basis for the milling and resurfacing of a minimum of 1-inch at all locations and limits noted on the plans. Contractor shall confirm with Town/County/Engineer on limits in the field prior to performing the work. The cost includes all disposal of existing material, RPM's and placement/finishing the new asphalt roadway. All pavement markings will be paid separately under that item.

- g. PAVER BRICK RESTORATION (REMOVE/REINSTALL): Measurement shall be based upon a square yardage basis for using the existing bricks, to include subbase, gravel, placement, compaction and densities. No separate payment will be made for replacement of any damaged bricks.

- h. *THERMO-PLASTIC ROAD STRIPING: The quantity to be paid under this Section shall be made at the contract lump sum price and shall include but not be limited to the complete replacement of the existing roadway striping within the project construction limits that was impacted by contractor activities.*

*Payment shall be made for the complete installation of new thermo-plastic roadway striping and RPM's per Palm Beach County/Town of Jupiter requirements.*

- i. 5FT CONCRETE SIDEWALK REPLACEMENT: The quantity paid for under this Section shall be per square yard of concrete as shown on the drawings, complete and accepted.

Payment shall be made at the Contract unit price per square yard and shall include, but not be limited to, furnishing all labor, materials and equipment necessary to perform restoration, grading, compaction, density testing, concrete placement, verification of existing drainage patterns in accordance with the plans, specifications and Palm Beach County/Town of Jupiter standards for public sidewalks or as equal condition for private sidewalks.

- j. HEADER CURB REPLACEMENT: Payment shall be based upon the linear footage of concrete header curb placed. This item shall include all grading, compaction, formwork and placement of the concrete with flush work.

- k. FLORATAM SOD: The quantity to be paid under this Section shall be per unit as shown on the drawings, complete and accepted.

## SECTION 01060

### REGULATORY REQUIREMENTS AND NOTIFICATIONS

#### PART 1 - GENERAL

##### 1.01 GENERAL REQUIREMENTS

- A. Obtain and pay for all permits and licenses as required for construction of the project.
- B. Schedule all inspections and obtain all written approvals of the agencies required by the permits and licenses.
- C. Comply with all conditions specified in each of the permits and licenses.
- D. The Contractor shall keep a copy of all permits and easements complete with conditions, attachments, exhibits, and modifications at the work site and provide copies of the permits to the appropriate subcontractors. The Contractor is responsible for ensuring that the permit conditions are explained to the appropriate construction personnel.

##### 1.02 PERMITS OBTAINED BY OWNER

The Owner has applied and received the following permits.

- 1. PALM BEACH COUNTY HEALTH DEPARTMENT: The General Permit for Construction a Domestic Wastewater Collection/Transmission System from the Palm Beach County Health Department for the project has been obtained for this project by the Owner. A copy of this permit has been included in Appendix A. All contracts shall conform to the conditions of this permit.
- 2. PALM BEACH COUNTY RIGHT OF WAY DEPARTMENT: The General Utility Permit for the Palm Beach County Right of Way Department has been obtained for this project by the Owner. *A copy of this permit has been included in Appendix F. Note that the permit will become valid upon the Contractor providing their licenses and insurance certificates. The Owner has paid the permit fee. All contracts shall conform to the conditions of this permit.*
- 3. TOWN OF JUPITER RIGHT OF WAY DEPARTMENT: The Utilities Permit for the Town of Jupiter Right of Way Department has been obtained for this project by the Owner. A copy of this permit has been included in Appendix A. All contracts shall conform to the conditions of this permit.

### **1.03 PERMITS OBTAINED BY CONTRACTOR**

- A. The Contractor shall prepare and pay for the Notice of Intent (NOI) to use the Generic Permit for Stormwater Discharge from Construction Activity, which will include Stormwater Pollution Prevention Plan (SWPPP)
- B. *As noted in 1.02.2, the Contractor will be responsible for releasing the PBC R/W permit by providing their licenses and insurance documents.*
  - 1. Contractor shall prepare, submit and obtain the appropriate dewatering permits and/or any temporary stormwater discharge permits from the South Florida Water Management District and/or Florida Department of Environmental Protection.

### **1.04 NOTIFICATION**

- A. The Contractor is required to notify the Owner and any applicable permitting agency who requires notification as part of their permit condition within the timeframe stated on the permit. If no time exists, notification shall be a minimum of 48 hours prior to initiating construction.
- B. Utility Companies: Contractor shall notify the Sunshine State One Call of Florida (SSOCF) service at 811, 48 hours prior to digging for direct bury and 10 days prior to digging or initiating construction of underwater construction activities, as required by Florida Statutes Chapter 556 throughout the duration of the construction project.
- C. The Contractor shall give the Engineer not less than seven (7) calendar days notice of the time and place (or places) where he will start the work.

### **1.04 PERMIT CONDITIONS**

- A. Contractor shall comply with and furnish all items necessary to satisfy any general or specific conditions that are a part of the Owner obtained permits.

### **PART 2 – PRODUCTS**

NOT USED

### **PART 3 – EXECUTION**

NOT USED

**END OF SECTION**

**APPENDIX F**

**ADDENDUM -2**

PALM BEACH COUNTY LAND DEVELOPMENT DIVISION

RIGHT-OF-WAY CONSTRUCTION - UTILITY PERMIT -

PERMIT NUMBER UT69897-0625

CONSTRUCTION START \_\_\_\_\_

APPL EXPIRATION 06/23/2026

S 05 T 41 R 43

PERMITTEE Loxahatchee River Environmental Control District  
2500 JUPITER PARK DRIVE  
JUPITER, FL 33458

FEE **\$1,005.00**  
CONTACT Mark Muchechetere  
(561) 593 - 0416

PROJECT DESCRIPTION N Hwy A1A between Indiantown Rd and Jupiter Beach Rd

LOCATION **N HWY A1A** - Replacement of existing 2500 LF of 10" AC FM along the western R/W of N Hwy A1A and 500 LF of 6" AC FM within the Ocean Parks Condominium development. Proposed work will consist of horizontal directional drills. New FM to be 10" C-900 PVC, 12" HDPE DR11, and 6" C-900 PVC.

REFERENCED PLANS

Permit is hereby granted for the work within the right-of-way as shown on the referenced plans, subject to the Palm Beach County Right of Way Permitting Ordinance, as amended, (Ordinance) which is incorporated herein, provisions of Chapters 125.42, 337.401 through 337.404, current Florida Statutes, to the general conditions contained in this permit, and the following specific conditions that follow. In the event of a conflict between this permit and the Ordinance, the more stringent provisions shall control.

Not a valid permit

1. Improvements approved with this permit may be subject to removal due to Roadway Production's pending projects of the 5 year Road program.
2. AFTER THE PERMIT CONDITIONS HAVE BEEN ACCEPTED BY THE PERMITTEE, HE/SHE SHALL CONTACT GRACIELA MCAUSLAND FOR PROJECTS NORTH OF STATE ROAD 80 AND SEAN REILLY FOR PROJECTS SOUTH OF STATE ROAD 80 AT THE PBC TRAFFIC DIVISION (561) 684-4030. THEY WILL DETERMINE IF MAINTENANCE OF TRAFFIC PLAN (FOR VEHICLES AND/OR PEDESTRIANS) IS REQUIRED. IF REQUIRED, THE PLAN SHALL BE SUBMITTED VIA EPERMITTING UNDER THE MAINTENANCE OF TRAFFIC APPLICATION. A MINIMUM OF 2 WEEKS PRIOR TO START OF CONSTRUCTION. THE PERMITTEE/DULY AUTHORIZED AGENT SHALL BE RESPONSIBLE TO HAVE THE PLAN APPROVED PRIOR TO CONSTRUCTION.

WHEN THE PLAN HAS BEEN APPROVED, OR DETERMINED NOT TO BE REQUIRED, THE PERMIT CONTACT, EITHER THE PERMITTEE OR THE ENGINEER OF RECORD, SHALL CONTACT THE CONSTRUCTION COORDINATION DIVISION AT (561) 684-4180, 48 HOURS BEFORE COMMENCEMENT OF WORK FOR A START DATE. (SEE CONDITION NUMBER 1 ON THE BACK OF THIS PERMIT)

3. Service activation/use of newly installed communication and electrical utilities/systems (including fiber optics, cables, poles and equipment) shall not be placed into service until the improvements have been permitted and pass a final inspection by Palm Beach County.  
Any improvements placed in the right of way without a permit shall be removed by the Permittee at their expense. Improvements shall be permitted prior to re-installation and activation of the improvements shall not take place until passing the final inspection.
4. This condition applies to Advanced Wireless Infrastructure Pole installation permits that exclude the associated underground electric, fiber optics, cables and other types of service conduits required to operate the pole mounted communication system (s). These supporting service lines are required to be permitted by a separate permit (if not included in this approval). "Pole installation only permits" shall not be connected without the supporting underground infrastructure being permitted. Operation without the proper permits will result in the removal of illegally installed components by the permittee and suspension of the Antenna use until properly permitted.
5. All construction within Palm Beach County jurisdiction shall be in accordance with the rules and regulations promulgated by Palm Beach County (this includes the Land Development Design Standards Manual and details ).
6. The Permittee is hereby notified that other work has been previously approved within the same area of (S AIA). The Permittee or Permittee's contractor shall contact (Florida Power and Light, Marcela Meza, 561-640-2350, UT34780-0916 and UT47971-0319; Hotwire Communication, Phil Gallub, 954-628-7022, UT57544-0621; Town of Jupiter, CJ Lan, 561-741-2538, RW64320-0723) and obtain permission from them to work in this area. If permission is not granted, the work under this permit shall not start until work under (UT34780-0916 and UT47971-0319; UT57544-0621; RW64320-0723) has been deemed complete by the Palm Beach County Construction Coordination Division.
7. Depth Inspection: The Permittee shall contact the Construction Coordination Office (561)-684-4180 to schedule depth/location inspection 24 hours prior to start of bore. Per FDOT 555-4.2
8. The Permittee is required to coordinate with the property's applicable Drainage District for all work proposed or drainage discharge into that District's rights of way or easements.
9. All construction shall be in accordance with the requirements of the FDOT Utility Accommodation Manual 2017 Edition. This includes depth below grade based on bore diameter.
10. This permit does not include approval of Maintenance of Traffic (MOT). Contact Graciela MCAusland for projects north of Lake Worth Road. or Sean Reilly/Amar Kalabic for projects south of Lake Worth Road., Construction Coordinators-Palm Beach County Traffic Division at 561-684-4030.
11. Coordinate with the local utility providers and provide the clearances to existing utilities established by those agencies. At a minimum, maintain 4 feet of horizontal clearance between proposed underground facilities and existing utilities (wall to wall) and a minimum of 12 inches of vertical clearance.
12. The Permittee shall mow the affected site area, a minimum of once per month, as required by the County Engineer until the permit is deemed complete by the Construction Coordination Division.
13. Permit Expiration: Unless approved in writing from the Director of Land Development, this permit expires 1 year after the activation date. The activation date is the construction start date entered in the E-permitting system by the Construction Coordination Division.
14. A current set of approved permit documents shall be on site at all times while preparing to work or performing work within a County maintained right of way. Failure to comply with this condition will result in a cease and desist order requiring the Contractor, crew and equipment to immediately vacate the right of way. Prior to leaving the site the contractor shall restore the area to a safe condition.
15. If necessary as part of the permitted work pothole and groundwater discharge ( dewatering ) locations shall be coordinated with the PBC Construction Coordination Division. Milling and resurfacing of the road pavement may be required due to the number of pothole locations. Avoid disturbing travel lane wheel paths if possible.
16. The Permittee shall provide evidence of insurance to the Construction Coordination Division prior to receiving a construction start date, as required by Ordinance No. 2019-030, and as may be amended.

The Certificate Holder shall be:

Palm Beach County Land Development  
C/O Construction Coordination Division  
2300 N. Jog Road  
West Palm Beach, FL 33411

Under: DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES (Acord 101, additional Remarks Schedule):

The following must be added as Additional Insured for General Liability insurance:

Palm Beach County Board of County Commissioners, Its Employees, Agents and Contractors.

The limits of coverage of insurance required shall be not less than the following:

(a) Worker's Compensation and Employer's Liability Insurance

Worker's Compensation-Florida Statutory Requirements

Employer's Liability - \$100,000 each accident

- \$500,000 disease--policy limit

- \$100,000 disease--each employee

(b) Comprehensive General Liability

Bodily injury and property damage-

\$1,000,000 each occurrence

\$3,000,000 general aggregate

(c) Automobile Liability

Bodily injury and property damage-

\$1,000,000 combined single limit each accident

17. Please note that future roadway construction may require relocation of these facilities at no expense to Palm Beach County.



18. All inspections are scheduled through Construction Coordination (561) 684-4180 either by the permittee, the Engineer of record or his/her representative, who must be present at the inspections. Prior to scheduling a final field review with Construction Coordination, the Permittee shall submit to the Land Development Division a signed and sealed certification of completion from the Engineer-of-Record for the above work, referencing the permit number and indicating the work was completed in substantial accordance with the approved plans.

If the Permittee is exempt from requirement to contract with a Professional Engineer for design, then the Permittee shall provide a certification of completion letter. The letter is not required to be signed and sealed by a Professional Engineer except in the case where a Professional Engineer is on staff and EOR for the usually exempt project.

19. WORK SHALL NOT COMMENCE UNTIL THE PERMITTEE HAS REQUESTED AND RECEIVED APPROVAL FOR A START DATE FROM THE CONSTRUCTION COORDINATION DIVISION AT 561-684-4180.

FAILURE TO BEGIN CONSTRUCTION ON THE START DATE WITHOUT 24 HOUR NOTIFICATION WILL RESULT IN A CANCELED PERMIT APPLICATION. IF WORK COMMENCES WITHOUT AN APPROVED START DATE OR ON AN ALTERNATIVE DATE WITHOUT PROPER NOTICE, THIS PERMIT APPLICATION SHALL BE CANCELED.

20. All utility structures installed below grade, of any type, in the Palm Beach County right-of-way are required to have traffic bearing tops. This includes all valve boxes, meter boxes, hand holes, splice boxes, storm grates, manhole tops, traffic boxes etc. This requirement applies to structures within the sidewalks, grassed areas and/or pavement.

All pull boxes, hand holes, etc., in Palm Beach County Right-of-Way are to be a minimum of Tier 15, (15K design load/ 22.5K Test load) traffic bearing in locations that are subject to occasional traffic.. Pull boxes, hand holes, etc., in the roadway (deliberate vehicular traffic applications) are to be a minimum of AASHTO H 20.

21. It is the contractor's responsibility to maintain vehicular and pedestrian detection at traffic signals during construction. Vehicle detection must be repaired within 30 days of notice by Palm Beach County and pedestrian detection must be repaired within 3 days of notice by Palm Beach County. The cost for maintaining detection, repairing detection, or adding temporary detection during construction shall be at the expense of the permittee.

22. Permittee shall coordinate the proposed installation with the existing utilities in the permitted work area.

PERMITTEE SIGNATURE (AUTHORIZED SIGNATURE OR DULY AUTHORIZED AGENT)

COUNTY APPROVAL  
Scott Cantor, P. E., Director  
Land Development Division

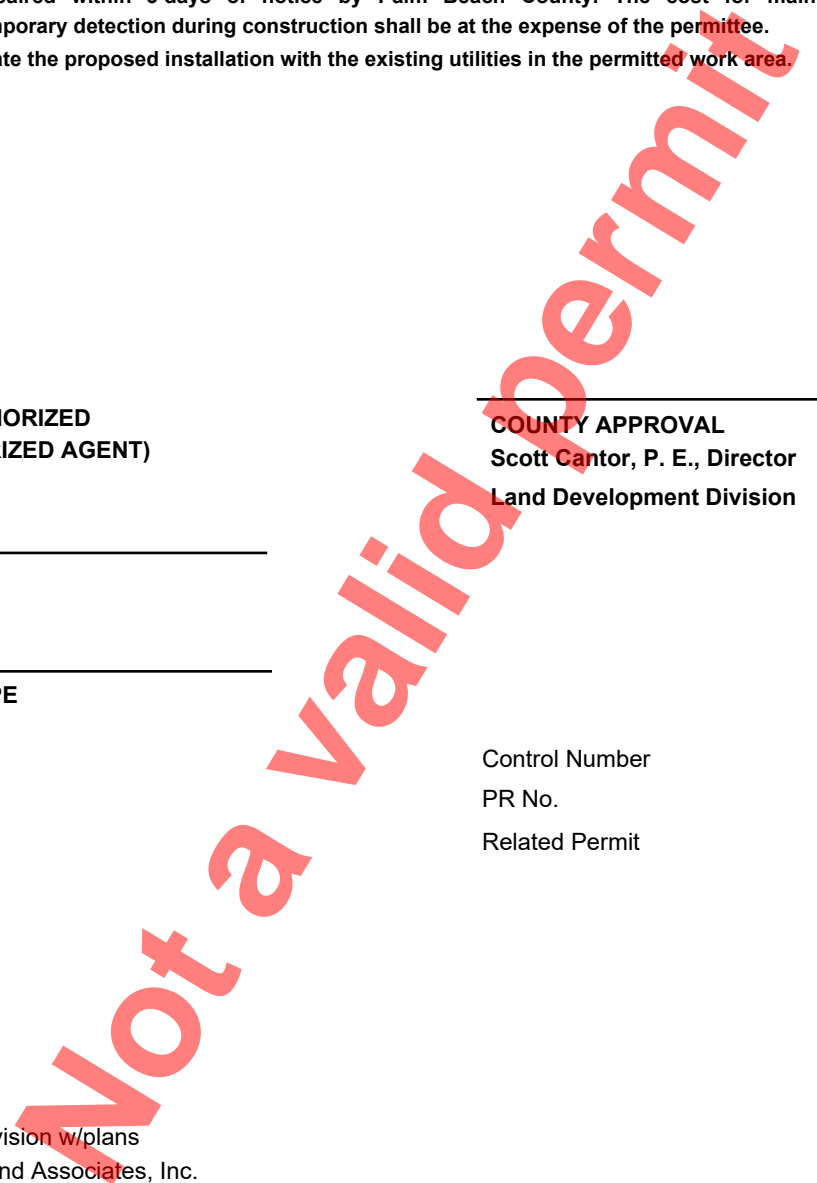
\_\_\_\_\_  
SIGNATURE

\_\_\_\_\_  
PLEASE PRINT OR TYPE

Control Number  
PR No.  
Related Permit

JMK ROBERT LAZO

cc: Construction Coordination Division w/plans  
Tom Jensen - Kimley-Horn and Associates, Inc.  
Permittee w/plans



## CONDITIONS FOR RIGHT-OF-WAY CONSTRUCTION (UTILITIES)

1. The Construction Coordination Division shall be contacted 48 hours before commencement of work to establish the start date and establish a timeline when field review(s) of the work are required. Construction shall be done Monday through Friday. Weekend work shall be approved by Construction Coordination 48 hours before Saturday. Plans bearing the approval stamp of the County Engineer and the approved permit shall be at the work site. Work may proceed beyond the permit expiration date if a start date was established and work started prior to the permit expiration date. When work is complete and the engineer's certification of completion has been submitted to the Land Development Division, the permittee/representative/engineer (as applicable) shall schedule a final review with Construction Coordination Division. If a permitted project has been completed but does not require an engineer's certification, the permittee/representative (as applicable) shall submit a letter to the Land Development Division indicating the work is complete and ready for final field review. Land Development will notify the permittee/representative to schedule final field reviews with Construction Coordination.
2. The permittee understands and agrees that the rights and privileges herein set out are granted only to the extent of the County's right, title and interest in the land to be entered upon and used by the permittee. THE PERMITTEE SHALL, AT ITS SOLE COST AND EXPENSE, PROTECT, DEFEND, REIMBURSE, INDEMNIFY, AND HOLD THE COUNTY, ITS ELECTED OFFICERS, AGENTS, AND EMPLOYEES, HARMLESS FROM AND AGAINST ALL CLAIMS, LIABILITY, EXPENSE, LOSS, DAMAGES CAUSES OF ACTION OF EVERY KIND OR CHARACTER, INCLUDING ATTORNEY'S FEES AND COSTS, WHETHER AT TRIAL OR APPELLATE LEVELS OR OTHERWISE, ARISING, DURING, AND AS A RESULT OF PERMITTEE'S PERFORMANCE UNDER THE ORDINANCE, HOWEVER, A PROVIDER'S DUTY UNDER THIS SECTION DOES NOT EXTEND TO LIABILITIES NOT CAUSED BY THE PROVIDER, INCLUDING LIABILITIES ARISING FROM THE COUNTY'S NEGLIGENCE, OR WILLFUL CONDUCT, NOTHING CONTAINED IN THIS SECTION SHALL BE CONSTRUED OR INTERPRETED: (A) AS DENYING TO EITHER PARTY ANY REMEDY OR DEFENSE AVAILABLE TO SUCH PARTY UNDER THE LAWS OF THE STATE OF FLORIDA; (B) AS A WAIVER OF SOVEREIGN IMMUNITY, OR (C) AS CONSENT BY THE COUNTY TO BE SUED. THE INDEMNIFICATION REQUIREMENTS SHALL SURVIVE AND BE IN EFFECT AFTER THE SUSPENSION, REVOCATION, TERMINATION OR EXPIRATION OF A PERMIT.
3. Permittee assumes full responsibility to maintain all areas under construction safe for the public and to properly route and direct traffic through the construction area. All Traffic control operations shall be done in accordance with the current Manual on Uniform Traffic Control Devices (Part VI). Supplements to this manual are the Florida Department of Transportation Road and Bridges Standard Plans (Index 102-100 through 102-670) and Standard Specifications to Road and Bridge Construction (latest edition). No obstruction to the travel lanes between 7:00 a.m. to 9:00 a.m. and 3:00 p.m. roads or for construction down Saturday or Sunday, unless noted otherwise from Palm Beach County Engineering Traffic Division. Working hours are subject to change due to proximity to schools, traffic signals, special events or the type of MOT required.
4. Florida Statute 336.048 – Temporary closing traveling lane of road: Whenever any road on the county road or city street system is repaired, reconstructed, or otherwise altered in a manner that necessitates the closing of one or more traveling lanes of the road for a period of time exceeding 2 hours, the party performing such work shall give notice to the appropriate local law enforcement agency within whose jurisdiction such road is located prior to commencing work on the project.
5. The County shall have the right to inspect a Facility Placed or Maintained in the Right-of-Way as the County finds necessary to ensure compliance with this Ordinance. In the event the County determines that a violation has occurred, the County will provide Permittee written notice, setting forth the violation and requesting correction within 5 days. The Permittee hereby acknowledges the COUNTY'S right to inspect the area governed by this permit at any time prior to final acceptance by the COUNTY to assure compliance with all plans and specifications. All reviews, however, shall be performed at the COUNTY'S discretion and are strictly to assure compliance with project plans and specifications. PERMITTEE HEREBY ACKNOWLEDGES THAT THE COUNTY VIA SAID REVIEWS IS NOT THE EMPLOYER, SUPERVISOR, PRINCIPAL OR AGENT OF PERMITTEE. Permittee is at all times an independent contractor with full responsibility for all obligations and responsibilities imposed under this permit and imposed by law.
6. If a County maintained Thoroughfare Plan Road is open cut, the procedures in Land Development Division PPM EL-O-3605, including Form 3605.1 (Open Cut Restoration for Thoroughfare Plan Roads) shall be adhered to. If a Non-Thoroughfare Plan Road is open cut, Land Development Division PPM EL-O-3606, including Form 3606.1 (Open Cut Restoration for Non-Thoroughfare Plan Roads) shall be adhered to.
- 6a. If an asphalt driveway is cut and patched, the entire driveway shall be overlaid with a minimum one inch of asphalt, or entirely replaced. If a concrete driveway is cut, it shall be entirely replaced. Replacement area is from the intersecting road to the property line.
7. All areas in the right-of-way shall be left in a condition equal to or better than existed prior to construction. Shoulders disturbed within 8 feet of the edge of pavement shall be stabilized a minimum 50 PSI Florida Bearing Value, 6 inches in depth. Existing drainage shall not be impeded. Sidewalk areas disturbed during construction shall be maintained until repaved. Prior to or concurrent with final review, the permittee shall submit to the Construction Coordination Division copies of density reports done by an independent testing laboratory. If the construction should fail within one year from the date of final review by the Construction Coordination Division, the permittee is responsible for restoration.
8. The permittee certifies notification has or will be given at least 48 hours (excluding Saturday, Sundays and legal holidays) prior to starting excavation, to anyone having the right to bury gas pipe line within the public or private street, alley, right-of-way or gas utility easement for purposes of obtaining information concerning the possible location of gas pipe lines in the area of proposed excavation.
9. The permitted work shall be coordinated with any Utility or Cable TV facilities in the area of construction.
10. The permittee/developer shall provide and install pavement markings (thermoplastic, unless approved otherwise by the Palm Beach County Traffic Engineer), and reflective pavement markers in accordance with Palm Beach County Traffic Division's latest Typicals for Pavement Markings, Signing and Geometrics.
11. If traffic signalization equipment is in the area of construction, notify Palm Beach County Traffic Operations at (561) 233-3900. Do not disturb any material within six feet of a traffic signal pole or a guy wire and anchor. If damage to the equipment occurs during construction, it shall be repaired by Traffic Operations at the permittee's expense.
12. Provide a minimum cover of 36 inches in the right-of-way of Thoroughfare Plan Roads and a minimum of 30 inches for all others. Maintain a minimum clearance of 12 inches over or under drainage facilities.
13. When plastic pipe is permitted for boring, it shall meet the standards as set forth in the latest Florida Department of Transportation Design Standards.
14. Upon County's request, a Permittee shall be required to coordinate the Placement or Maintenance of a Facility with any other work construction, installation or repair that may be occurring or scheduled to occur within a reasonable time, in the subject Right-of-Way. The Permittee shall reasonable alter its Placement or Maintenance schedule, as necessary to minimize disruption and disturbance in the Right-of-Way. In the event of a conflict with a County project, the Permittee shall yield to the County's schedule to such that no two entities are working within the same area of the Right-of-Way at the same time.
15. In the event of widening, repair, or reconstruction of the subject road(s), the Permittee, any successors, legal heirs or assigns, shall upon request and within 30 days after notice by the Office of the County Engineer, remove or relocate the item(s) permitted within the right-of-way of the subject road (s) at no expense to Palm Beach County. Removal or relocation of a Facility at the direction of the County is governed by Florida Statutes 125.01, 125.42, 337.403 and 337.404, as amended.
16. After the completion of the Placement or Maintenance of a Facility in the Right-of-Way or each phase thereof, the Permittee shall, at its own expense, restore the Right-of-Way to at least its original condition before the permitted work, subject to the County's inspection. If the Permittee fails to make such restoration within thirty (30) days, or such longer period of time as may be reasonably required under the circumstances, following the completion of such Placement or Maintenance, the County may perform restoration and charge the costs of the restoration against the Permittee, pursuant to Section 337.402, Florida Statutes.
17. Issuance of this permit does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the County for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
18. All applicable state or federal permits must be obtained before any development is commenced.

Fees pursuant to Section 23-39 Permit Application, of Article III, Construction in Public Right-of-Way (Ordinance 2019-030 and as amended) and Fee Schedule Ordinance 2009-952 and as amended.

The minimum fee for any application shall not be less than two hundred twenty five (\$225), unless noted as waived. The minimum fee shall be paid at time of application, and any balance due shall be paid prior to issuance of the permit.

PERMIT NO.: UT69897-0625

ROAD NAME: N HWY A1A

JOB NO.:

<u>TYPE OF PERMIT</u>	<u>FEE</u>	<u>QUANTITY</u>	<u>AMOUNT DUE</u>
1 Installation of all other underground facilities including, but not limited by the following: sanitary force, water, gas, liquid or semi liquid pipe lines, including appurtenant manholes and/or catch basins: Installation of all other underground facilities including, but not limited by the following: sanitary force, water, gas, liquid or semi liquid pipe lines, including appurtenant manholes and/or catch basins:	\$80.00	1715.00	<u>\$540.00</u>
2 Construction or installation of individual catch basins, manholes or junction boxes Construction or installation of individual catch basins, manholes or junction boxes not erected in connection with and installation of 1 or 2 above.	\$155.00	3.00	<u>\$465.00</u>
pc: Permittee	Total Permit Fee		<b>\$1,005.00</b>
	Less Fee Paid		<b>\$225.00</b>
	<b>Balance</b>		<b>\$780.00</b>

Not a valid permit

**APPENDIX H**

**ADDENDUM -2**

LRECD - 109

Prepared By and Return To:

Kris Dean, P.E.

Loxahatchee River Environmental Control District

2500 Jupiter Park Drive

Jupiter, Florida 33458-8964

Doc. Stamp Tax Exempt per Fla. Admin. Code

12B-4.054, par. 24.

### SEWER EASEMENT DEED

THIS EASEMENT made this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, between OCEAN PARKS JUPITER CONDOMINIUM ASSOCIATION, INC., hereinafter called the "Grantor", and the LOXAHATCHEE RIVER ENVIRONMENTAL CONTROL DISTRICT, an Agency of the State of Florida, created by a Special Act of the Legislature, Chapter 71-822 as amended, of 2500 Jupiter Park Drive, Jupiter, Florida 33458-8964, its successors and assigns, herein called the "Grantee".

### WITNESSETH

That the Grantor and all other persons claiming by, through or under Grantor, or either of them, their predecessors in title, or their heirs, assigns or legal representatives by virtue of any deeds of conveyances to the land described herein, for and in consideration of the promises, stipulations, agreements and covenants made by Grantee contained herein, the receipt and sufficiency of which is hereby acknowledged, has granted, bargained and sold to the Grantee, its successors and assigns, a permanent Easement, on the parcel of property described in the Site Survey attached hereto and incorporated herein as Exhibit "A" and Exhibit "B" attached hereto and made a part hereof for all purposes (the "Easement Premises") connected with the use, ingress, egress, construction, repair, replacement, installation, improvement, and maintenance of sewer facilities and facilities for the transport of reuse (I.Q.) water, or sewerage, including but not limited to transmission mains, force mains, manholes, lift stations, collection lines, pipes, pumps, connections, ditches, meters and all other related appurtenances having the capacity for use in connection with the collection or transmission of wastewater of any nature or originating from any source whether on or off the property of Grantor. Grantee shall restore and replace any of Grantor's property disturbed or damaged by Grantee's exercise of its rights under this Easement Deed, to a similar condition as that existing thereon prior to any entry or entries by Grantee pursuant to this Easement Deed, at no cost to the Grantor. By way of example and not limitation, Grantee shall restore and replace the grass, sod, or pavement of Grantor, as well as Improvements existing on the Easement Premises as of the date of this Easement Deed at no cost to the Grantor

"Improvements" shall mean anything other than grass, sod or asphalt pavement, including but not limited to any type of structure, fence, wall, landscape berm, building, surfacing, landscaping (except grass or sod) and the like.

Grantor shall not make any Improvements to the property described herein that may interfere with Grantee's full use of the Easement Premises, without the prior written consent of Grantee which shall not be unreasonably withheld. In the event an Improvement installed after the effective date of this Easement Deed needs to be removed in the opinion of Grantee, or is removed or damaged by or on behalf of Grantee, in connection with Grantee's use of the Easement

Premises, Grantee shall not be liable for any such removal or damage of the Improvement. The installation of any and all Improvements on the Easement Premises after the effective date of this Easement Deed are at the sole risk and expense of Grantor. Any expense of Grantee caused by Improvements installed by Grantor on the Easement Premises after the effective date of this Easement Deed shall be the responsibility of Grantor.

The Grantee may install above-ground structures within the designated easement, provided they do not exceed a height of three feet above ground.

This Easement and the agreements contained herein are binding upon Grantee and Grantor, as well as their heirs, administrators, personal representatives, successors and/or assigns.

Grantor is seized in fee simple and in possession of lands described herein and does fully warrant title to said property and will defend the same against any lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the undersigned have executed this instrument the date and year first above written:

Signed, sealed and delivered  
in the presence of:

GRANTOR:

\_\_\_\_\_  
Witness Signature

By: \_\_\_\_\_

\_\_\_\_\_  
Printed Name of Witness

Printed Name: \_\_\_\_\_

\_\_\_\_\_  
Address of Witness

As: \_\_\_\_\_

\_\_\_\_\_  
Witness Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Address of Witness

STATE OF FLORIDA  
COUNTY OF PALM BEACH

The foregoing instrument was subscribed, sworn, and acknowledged before me by means of  
[ ] physical presence or [ ] online notarization, by \_\_\_\_\_ who is personally known  
to me or produced \_\_\_\_\_ as identification on \_\_\_\_\_, 2025.

\_\_\_\_\_  
Notary Public

Print name \_\_\_\_\_

My commission expires \_\_\_\_\_

[SEAL]

\_\_\_\_\_  
NOTARY SIGNATURE

Signed, sealed and delivered  
in the presence of:

GRANTEE:

\_\_\_\_\_  
Witness Signature

By: \_\_\_\_\_

\_\_\_\_\_  
Printed Name of Witness

Printed Name: \_\_\_\_\_

\_\_\_\_\_  
Address of Witness

As: \_\_\_\_\_

\_\_\_\_\_  
Witness Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Address of Witness

STATE OF FLORIDA  
COUNTY OF PALM BEACH

The foregoing instrument was subscribed, sworn, and acknowledged before me by means of  
[ ] physical presence or [ ] online notarization, by \_\_\_\_\_ who is personally known  
to me or produced \_\_\_\_\_ as identification on \_\_\_\_\_, 2025.

\_\_\_\_\_  
Notary Public

Print name \_\_\_\_\_

My commission expires \_\_\_\_\_

[SEAL]

\_\_\_\_\_  
NOTARY SIGNATURE



EXHIBIT "A"  
(Force Main Easement No. 1)

# EXHIBIT "A"

## DESCRIPTION:

BEING A PORTION OF OCEAN PARKS CONDOMINIUM ONE, AS RECORDED IN OFFICIAL RECORDS BOOK 2251, PAGES 238 THROUGH 302 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, TOGETHER WITH A PORTION OF COMMON AREA, AS DESCRIBED IN OFFICIAL RECORDS BOOK 4524, PAGE 1464 OF SAID PUBLIC RECORDS, LYING IN SECTIONS 5 AND 6, TOWNSHIP 41 SOUTH, RANGE 43 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 6; THENCE N01°36'49"W, A DISTANCE OF 642.44 FEET TO THE POINT OF BEGINNING #1; THENCE N01°33'42"W, A DISTANCE OF 10.00 FEET; THENCE N88°26'18"E, A DISTANCE OF 15.39 FEET; THENCE S46°39'22"E, A DISTANCE OF 14.14 FEET; THENCE N88°20'49"E, A DISTANCE OF 78.82 FEET; THENCE N44°05'52"E, A DISTANCE OF 182.38 FEET; THENCE S46°19'38"E, A DISTANCE OF 10.00 FEET; THENCE S44°05'52"W, A DISTANCE OF 186.52 FEET; THENCE S88°20'49"W, A DISTANCE OF 87.02 FEET; THENCE N46°39'22"W, A DISTANCE OF 14.15 FEET; THENCE S88°26'18"W, A DISTANCE OF 11.26 FEET TO THE POINT OF BEGINNING #1.

CONTAINING 2,948 SQUARE FEET OR 0.0677 ACRES, MORE OR LESS.

## SURVEYOR'S NOTES:

1. SKETCH OF DESCRIPTIONS OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND ORIGINAL SEAL, OR THE AUTHENTICATED ELECTRONIC SIGNATURE AND SEAL, OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR AND MAPPER.
2. ADDITIONS OR DELETIONS TO SKETCH OF DESCRIPTIONS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
3. LANDS SHOWN HEREON WERE NOT ABSTRACTED, BY THE SURVEYOR, FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
4. BEARINGS SHOWN HEREON ARE RELATIVE TO A GRID BEARING OF S01°18'25"W, ALONG THE EAST LINE OF SECTION 6, TOWNSHIP 41 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, TRANSVERSE MERCATOR PROJECTION, NORTH AMERICAN DATUM OF 1983 (1990 ADJUSTMENT).
5. THE LAND DESCRIPTION SHOWN HEREON WAS PREPARED BY THE SURVEYOR.
6. DATA SHOWN HEREON WAS COMPILED FROM THE INSTRUMENTS OF RECORD RECORDED IN THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, AND DOES NOT CONSTITUTE A FIELD SURVEY AS SUCH.
7. INSTRUMENTS OF RECORD SHOWN HEREON ARE RECORDED IN THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, UNLESS OTHERWISE SHOWN.

## CERTIFICATE:

I HEREBY CERTIFY THAT THE ATTACHED SKETCH AND DESCRIPTION OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION ON JANUARY 15, 2025. I FURTHER CERTIFY THAT THIS SKETCH AND DESCRIPTION MEETS THE STANDARDS OF PRACTICE SET FORTH IN RULE 5J-17, FLORIDA ADMINISTRATIVE CODE, ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO FLORIDA STATUTES CHAPTER 472.027.

**THIS IS NOT A SURVEY**

**SHEET 1 OF 3**



**CAULFIELD & WHEELER, INC.**

CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE - SURVEYING  
7900 GLADES ROAD - SUITE 100  
BOCA RATON, FLORIDA 33434  
PHONE (561)-392-1991 / FAX (561)-750-1452



Digitally signed by  
David Lindley  
Date: 2025.01.15  
14:33:47 -05'00'  
Adobe Acrobat  
version:  
2024.005.20320

DAVID P. LINDLEY  
PROFESSIONAL LAND  
SURVEYOR NO. 5005  
STATE OF FLORIDA  
LB 3591

DATE 1-15-2025

DRAWN BY SAS

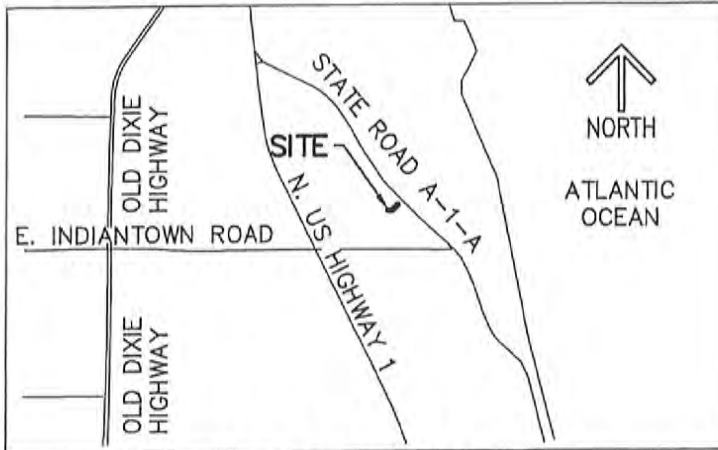
F.B./ PG. N/A

SCALE NONE

JOB NO. 10886-FM1

**OCEAN PARKS JUPITER  
FORCE MAIN EASEMENT #1  
SKETCH AND DESCRIPTION**

# EXHIBIT "A"



**LOCATION MAP**  
(NOT TO SCALE)

### NOTES COORDINATES, BEARINGS AND DISTANCES

COORDINATES SHOWN ARE GRID  
DATUM = NAD 83 1990 ADJUSTMENT  
ZONE = FLORIDA EAST  
LINEAR UNIT = U.S. SURVEY FEET  
COORDINATE SYSTEM 1983 STATE PLANE  
TRANSVERSE MERCATOR PROJECTION  
ALL DISTANCES ARE GROUND, UNLESS OTHERWISE NOTED  
SCALE FACTOR = 1.000044929  
GROUND DISTANCE X SCALE FACTOR = GRID DISTANCE

### LEGEND/ABBREVIATIONS

- PG(S). - PAGE(S)
- N - NORTHING (WHEN USED WITH COORDINATES)
- E - EASTING (WHEN USED WITH COORDINATES)
- O.R.B. - OFFICIAL RECORDS BOOK
- PBC - PALM BEACH COUNTY
- LB - LICENSED BUSINESS
- ⊠ - INDICATES SECTION CORNER
- ⊞ - INDICATES 1/4 SECTION CORNER
- 6-41-43 - SECTION 6, TOWNSHIP 41 SOUTH, RANGE 43 EAST

THIS IS NOT A SURVEY

SHEET 2 OF 3

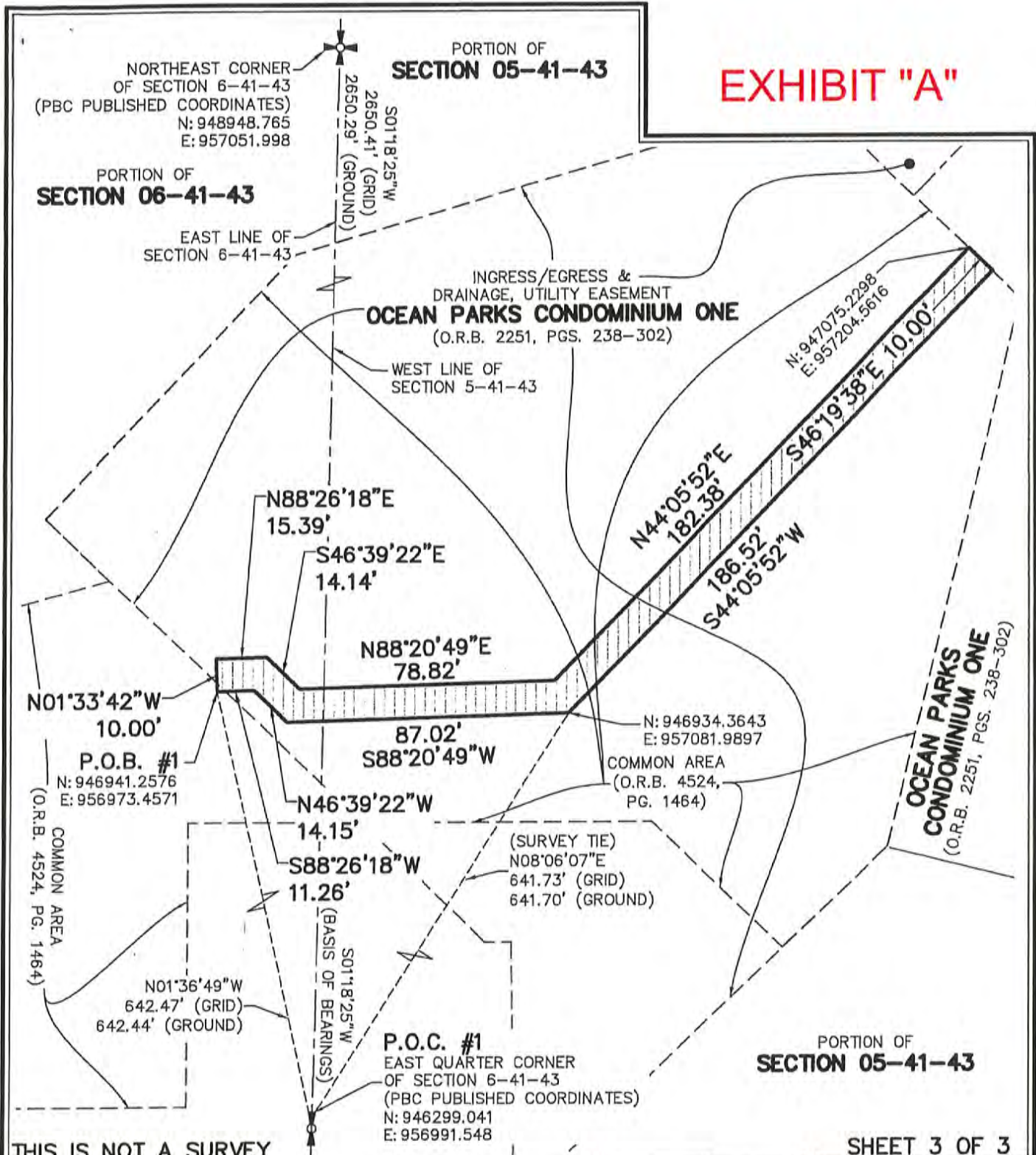
 CAULFIELD & WHEELER, INC.  
CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE - SURVEYING  
7900 GLADES ROAD - SUITE 100  
BOCA RATON, FLORIDA 33434  
PHONE (561)-392-1991 / FAX (561)-750-1452



DATE	1-15-2025
DRAWN BY	SAS
F.B./ PG.	N/A
SCALE	NONE
JOB NO.	10886-FM1

**OCEAN PARKS JUPITER  
FORCE MAIN EASEMENT #1  
SKETCH AND DESCRIPTION**

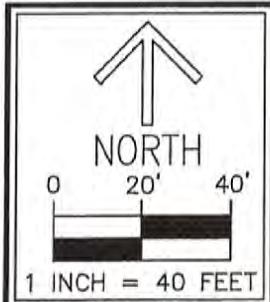
# EXHIBIT "A"



THIS IS NOT A SURVEY

SHEET 3 OF 3

**CAULFIELD & WHEELER, INC.**  
 CIVIL ENGINEERING  
 LANDSCAPE ARCHITECTURE - SURVEYING  
 7900 GLADES ROAD - SUITE 100  
 BOCA RATON, FLORIDA 33434  
 PHONE (561)-392-1991 / FAX (561)-750-1452



DATE	1-15-2025
DRAWN BY	SAS
F.B./ PG.	N/A
SCALE	1" = 40'
JOB NO.	10886-FM1

**OCEAN PARKS JUPITER  
 FORCE MAIN EASEMENT #1  
 SKETCH AND DESCRIPTION**

EXHIBIT "B"  
(Force Main Easement No. 2)

# EXHIBIT "B"

## DESCRIPTION:

BEING A PORTION OF OCEAN PARKS CONDOMINIUM ONE, AS RECORDED IN OFFICIAL RECORDS BOOK 2251, PAGES 238 THROUGH 302 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING IN SECTION 5, TOWNSHIP 41 SOUTH, RANGE 43 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 6; THENCE N15°20'46"E, A DISTANCE OF 804.81 FEET TO THE POINT OF BEGINNING #1; THENCE N44°05'52"E, A DISTANCE OF 24.95 FEET; THENCE N89°02'43"E, A DISTANCE OF 10.95 FEET; THENCE N43°40'23"E, A DISTANCE OF 83.41 FEET; THENCE N88°40'23"E, A DISTANCE OF 57.75 FEET; THENCE N44°06'11"E, A DISTANCE OF 8.62 FEET TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF STATE ROAD A-1-A (OCEAN BOULEVARD), AS RECORDED IN OFFICIAL RECORDS BOOK 19231, PAGE 1506 OF SAID PUBLIC RECORDS; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, S46°19'36"E, A DISTANCE OF 10.00 FEET; THENCE S44°06'11"W, A DISTANCE OF 12.80 FEET; THENCE S88°40'23"W, A DISTANCE OF 57.70 FEET; THENCE S43°40'23"W, A DISTANCE OF 83.45 FEET; THENCE S89°02'43"W, A DISTANCE OF 10.99 FEET; THENCE S44°05'52"W, A DISTANCE OF 20.73 FEET; THENCE N46°19'38"W, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING #1.

CONTAINING 1,857 SQUARE FEET OR 0.0426 ACRES, MORE OR LESS.

## SURVEYOR'S NOTES:


1. SKETCH OF DESCRIPTIONS OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND ORIGINAL SEAL, OR THE AUTHENTICATED ELECTRONIC SIGNATURE AND SEAL, OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR AND MAPPER.
2. ADDITIONS OR DELETIONS TO SKETCH OF DESCRIPTIONS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
3. LANDS SHOWN HEREON WERE NOT ABSTRACTED, BY THE SURVEYOR, FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
4. BEARINGS SHOWN HEREON ARE RELATIVE TO A GRID BEARING OF S01°18'25"W, ALONG THE EAST LINE OF SECTION 6, TOWNSHIP 41 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, TRANSVERSE MERCATOR PROJECTION, NORTH AMERICAN DATUM OF 1983 (1990 ADJUSTMENT).
5. THE LAND DESCRIPTION SHOWN HEREON WAS PREPARED BY THE SURVEYOR.
6. DATA SHOWN HEREON WAS COMPILED FROM THE INSTRUMENTS OF RECORD RECORDED IN THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, AND DOES NOT CONSTITUTE A FIELD SURVEY AS SUCH.
7. INSTRUMENTS OF RECORD SHOWN HEREON ARE RECORDED IN THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, UNLESS OTHERWISE SHOWN.


## CERTIFICATE:

I HEREBY CERTIFY THAT THE ATTACHED SKETCH AND DESCRIPTION OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION ON JANUARY 15, 2025. I FURTHER CERTIFY THAT THIS SKETCH AND DESCRIPTION MEETS THE STANDARDS OF PRACTICE SET FORTH IN RULE 5J-17, FLORIDA ADMINISTRATIVE CODE, ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO FLORIDA STATUTES CHAPTER 472.027.

**THIS IS NOT A SURVEY**

**SHEET 1 OF 3**

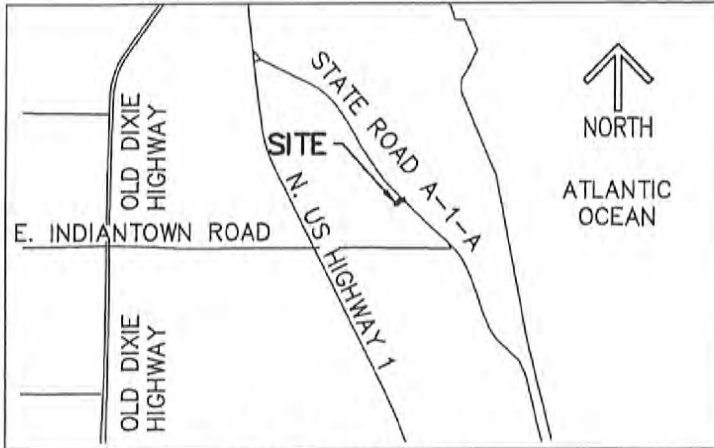
**CAULFIELD & WHEELER, INC.**  
CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE - SURVEYING  
7900 GLADES ROAD - SUITE 100  
BOCA RATON, FLORIDA 33434  
PHONE (561)-392-1991 / FAX (561)-750-1452

  
Digitally signed by  
David Lindley  
Date: 2025.01.15  
14:35:17 -05'00'  
Adobe Acrobat  
version:  
2024.005.20320  
**DAVID P. LINDLEY**  
PROFESSIONAL LAND  
SURVEYOR NO. 5005  
STATE OF FLORIDA  
LB 3591

DATE	1-15-2025
DRAWN BY	SAS
F.B./ PG.	N/A
SCALE	NONE
JOB NO.	10886-FM2

**OCEAN PARKS CONDOMINIUM ONE  
FORCE MAIN EASEMENT #2  
SKETCH AND DESCRIPTION**

# EXHIBIT "B"



**LOCATION MAP**  
(NOT TO SCALE)

## NOTES COORDINATES, BEARINGS AND DISTANCES

COORDINATES SHOWN ARE GRID  
DATUM = NAD 83 1990 ADJUSTMENT  
ZONE = FLORIDA EAST  
LINEAR UNIT = U.S. SURVEY FEET  
COORDINATE SYSTEM 1983 STATE PLANE  
TRANSVERSE MERCATOR PROJECTION  
ALL DISTANCES ARE GROUND, UNLESS OTHERWISE NOTED  
SCALE FACTOR = 1.000044929  
GROUND DISTANCE X SCALE FACTOR = GRID DISTANCE

## LEGEND/ABBREVIATIONS

- PG(S). - PAGE(S)
- N - NORTHING (WHEN USED WITH COORDINATES)
- E - EASTING (WHEN USED WITH COORDINATES)
- O.R.B. - OFFICIAL RECORDS BOOK
- PBC - PALM BEACH COUNTY
- LB - LICENSED BUSINESS
- ✱ - INDICATES SECTION CORNER
- ✱ - INDICATES 1/4 SECTION CORNER
- 6-41-43 - SECTION 6, TOWNSHIP 41 SOUTH, RANGE 43 EAST
- R/W - RIGHT-OF-WAY

**THIS IS NOT A SURVEY**

**SHEET 2 OF 3**



**CAULFIELD & WHEELER, INC.**

CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE - SURVEYING  
7900 GLADES ROAD - SUITE 100  
BOCA RATON, FLORIDA 33434  
PHONE (561)-392-1991 / FAX (561)-750-1452

**OCEAN PARKS CONDOMINIUM ONE  
FORCE MAIN EASEMENT #2  
SKETCH AND DESCRIPTION**

DATE 1-15-2025

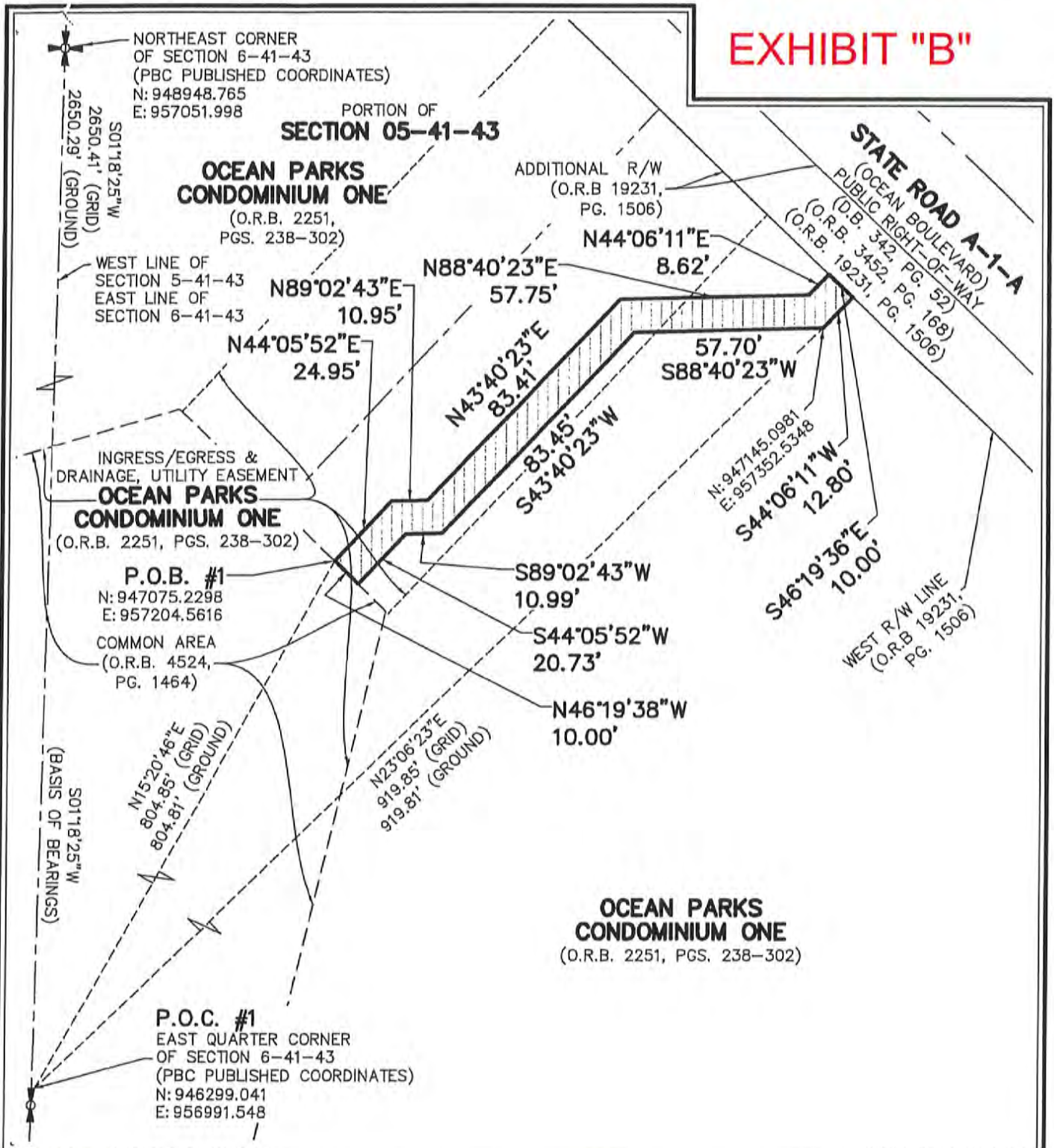
DRAWN BY SAS

F.B./ PG. N/A

SCALE NONE

JOB NO. 10886-FM2

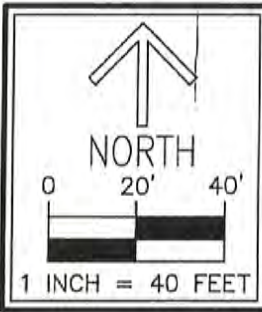
# EXHIBIT "B"



THIS IS NOT A SURVEY

SHEET 3 OF 3

**CAULFIELD & WHEELER, INC.**  
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 7900 GLADES ROAD - SUITE 100  
 BOCA RATON, FLORIDA 33434  
 PHONE (561)-392-1991 / FAX (561)-750-1452



DATE	1-15-2025
DRAWN BY	SAS
F.B./ PG.	N/A
SCALE	1"=40'
JOB NO.	10886-FM2

**OCEAN PARKS CONDOMINIUM ONE  
 FORCE MAIN EASEMENT #2  
 SKETCH AND DESCRIPTION**

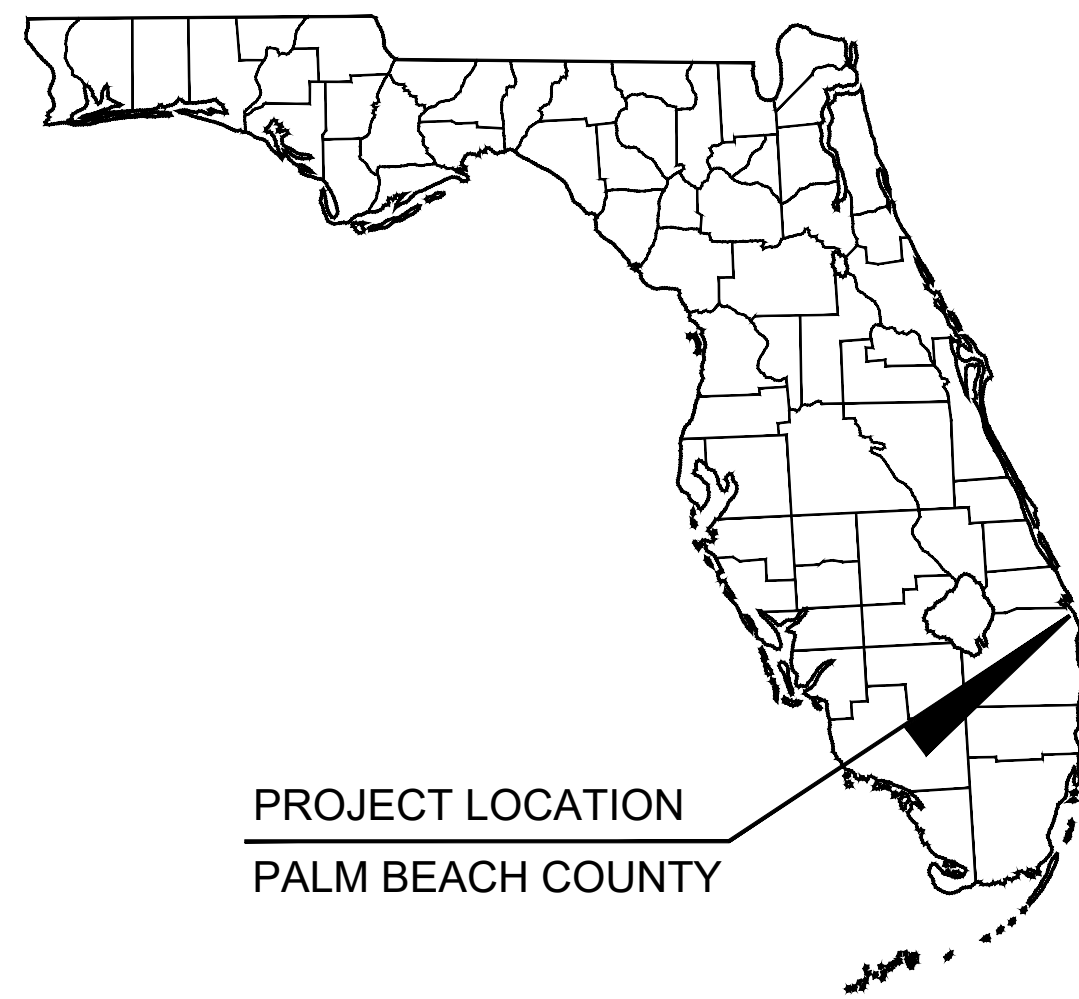


**DESIGN PLANS**

**ADDENDUM -2**

# CONSTRUCTION PLANS FOR A1A FORCE MAIN REPLACEMENT

PREPARED FOR THE  
**LOXAHATCHEE RIVER DISTRICT**  
MAY 2025



LOXAHATCHEE RIVER DISTRICT  
GOVERNING BORD

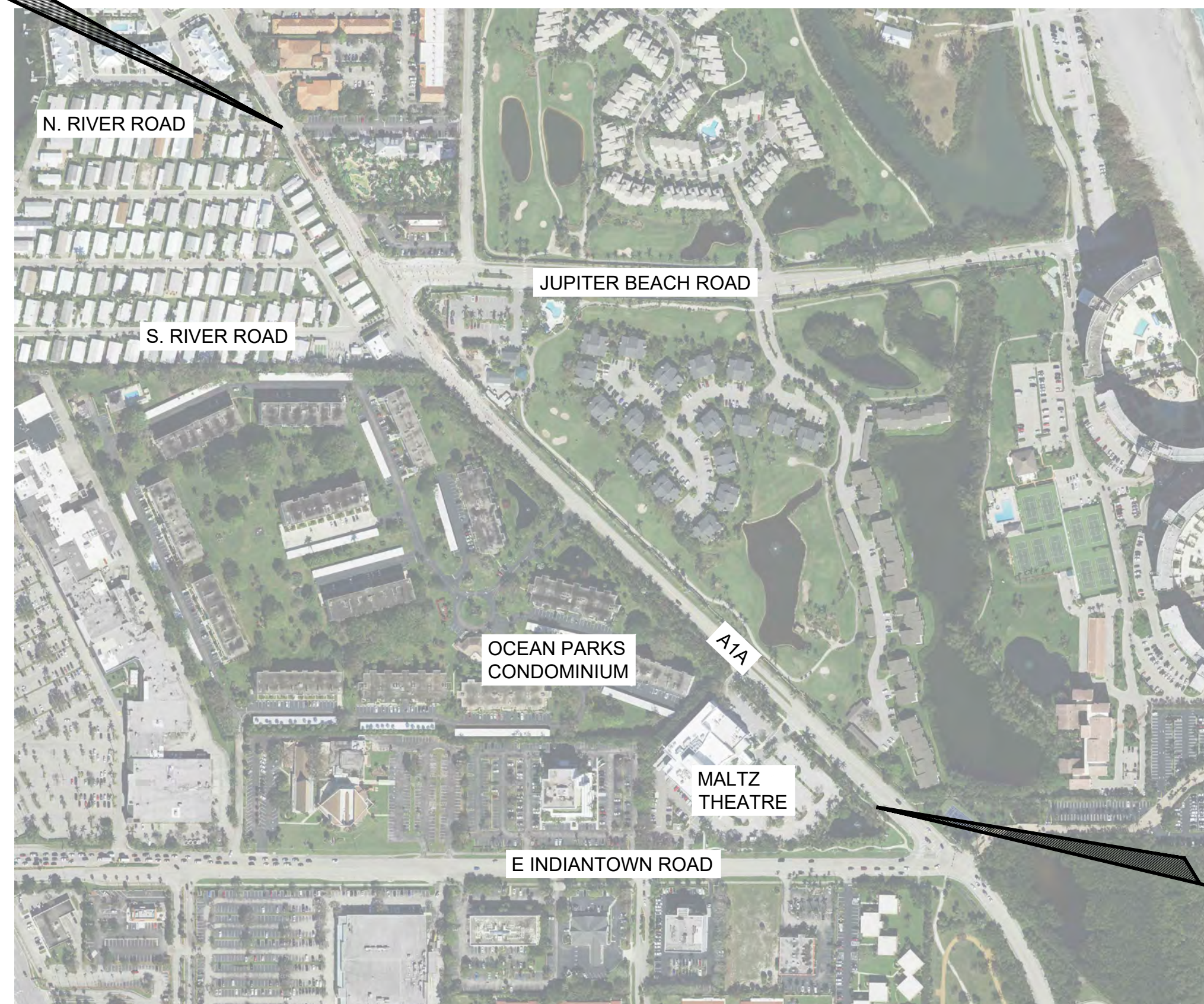
GORDON M. BOOGIE  
KEVIN L. BAKER  
DR. MATT H. ROSTOCK  
STEPHEN B. ROCKOFF

CHAIRMAN  
VICE CHAIRMAN  
TREASURER  
SECRETARY

EXECUTIVE DIRECTOR  
DEPUTY EXECUTIVE DIRECTOR

D. ALBREY ARRINGTON, PhD.  
KRIS DEAN, P.E.

END PROJECT  
N. RIVER RD.



LOCATION MAP  
N.T.S.

BEGIN PROJECT  
200'± N OF  
INDIANTOWN RD.

SUMMARY TABLE	
ITEM	QUANTITY
LENGTH OF PIPE IN PBC R/W	1715 LF
NUMBER OF ARV MANHOLES	3
LENGTH OF PIPE UNDER PBC ROAD TRAVEL LANES	0 LF
LENGTH OF MILL AND RESURFACE	55 LF

SUMMARY TABLE FOR PBC APPLICATION NO. UT69897

INDEX OF SHEETS	
Sheet Number	Sheet Title
C-1	COVER SHEET
C-2	GENERAL NOTES
C-3	OVERALL AERIAL PLAN AND KEY MAP
C-4	A1A FM REPLACEMENT PLAN
C-5	A1A FM REPLACEMENT PLAN AND PROFILE
C-6	A1A FM REPLACEMENT PLAN AND PROFILE
C-7	A1A FM REPLACEMENT PLAN AND PROFILE
C-8	A1A FM REPLACEMENT PLAN AND PROFILE
C-9	A1A FM REPLACEMENT PLAN AND PROFILE
C-10	A1A FM REPLACEMENT PLAN AND PROFILE
C-11	OCEAN PARKS FM REPLACEMENT PLAN AND PROFILE
C-12	PALM BEACH COUNTY STANDARD DETAILS
C-13	TOWN OF JUPITER STANDARD DETAILS
C-14	TOWN OF JUPITER STANDARD DETAILS
C-15	LRD STANDARD UTILITY DETAILS
C-16	LRD STANDARD UTILITY DETAILS

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY THOMAS C. JENSEN ON DATE ADJACENT TO SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ELECTRONIC COPIES.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

VERTICAL DATUM  
ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.  
DATUM CONVERSION: NAVD88 + 1.514 = NGVD29

CALL 2 WORKING DAYS BEFORE YOU DIG **811**  
IT'S THE LAW! DIAL 811 **Know what's below. Call before you dig.**  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

<b>BID SET</b>		<b>Kimley»Horn</b>	KHA PROJECT 140790002 DATE MAY 2025 SCALE AS SHOWN DESIGNED BY SS DRAWN BY SS CHECKED BY TCJ	<b>A1A AND OCEAN PARKS FM REPLACEMENT</b> PREPARED FOR <b>LOXAHATCHEE RIVER DISTRICT</b>	LICENSED PROFESSIONAL  THOMAS C. JENSEN  37290	<b>COVER SHEET</b>	SHEET NUMBER  <b>C-1</b>
No.	REVISIONS						

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of any improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of any improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

**PBC GENERAL NOTES:**

1. CONTRACTOR SHALL CONTACT PALM BEACH COUNTY TRAFFIC OPERATIONS AT 561-233-3900 FORTY-EIGHT (48) HOURS PRIOR TO CONSTRUCTION IF WORK IS BEING DONE WITHIN 10 FEET OF ANY SIGNAL EQUIPMENT.
2. DAMAGE TO LOOPS OR ANY SIGNAL EQUIPMENT CAUSED BY THE CONSTRUCTION OF THIS PROJECT MUST BE REPAIRED OR REPLACED TO ORIGINAL OR BETTER CONDITION AT NO COST TO PALM BEACH COUNTY.
3. NO EXCAVATION AROUND PALM BEACH COUNTY SIGNAL POLES WITHIN A 6 FOOT RADIUS FROM THE CENTER OF THE POLE AND 6 FEET AROUND THE GUY WIRE ANCHOR ROD. NO EXCAVATION BETWEEN PBC SIGNAL POLES AND SUPPORTING GUY WIRE ANCHOR ROD. PLEASE SEE PALM BEACH COUNTY TRAFFIC SIGNAL INSTALLATION STANDARDS AND DETAILS 2024 DRAWING T-5.4.



**LRD GENERAL NOTES:**

1. ALL CONNECTIONS TO EXISTING MAINS SHALL BE OBSERVED BY THE DISTRICT. VALVES ON EXISTING MAINS SHALL BE OPERATED BY DISTRICT PERSONNEL OR UNDER THEIR DIRECT SUPERVISION. CONTRACTOR SHALL BE PREPARED TO HANDLE DISPOSAL OF EXCESS SEWAGE FROM ISOLATION VALVES TO POINTS OF CONNECTION.
2. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF LRD UTILITIES MINIMUM DESIGN AND CONSTRUCTION STANDARDS LATEST EDITION, ONE COPY OF THE CONTRACT DOCUMENTS, INCLUDING PLANS, SPECIFICATIONS AND SPECIAL PROVISIONS, AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
3. THE CONTRACTOR SHALL CONTACT ALL CONCERNED UTILITIES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS.
4. THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES BY ELECTRONIC METHOD AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES AND SUNSHINE 811 PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
5. LOCATION OF PROPOSED FACILITIES WILL BE STAKED BY CONTRACTOR. CONTRACTOR MUST GIVE 48 HOURS NOTICE TO THE DISTRICT IN ADVANCE OF LAYOUT.
6. THE CONTRACTOR SHALL PROVIDE A QUALIFIED SUPERINTENDENT TO REMAIN ON THE JOB SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. THE SUPERINTENDENT SHALL BE PRESENT AT THE PRE-CONSTRUCTION MEETINGS. THE CONTRACTOR SHALL NOTIFY THE DISTRICT BY LETTER PRIOR TO THE PRE-CONSTRUCTION MEETING APPOINTING THE SUPERINTENDENT FOR THE PROJECT INCLUDING A FORMAL RESUME SHOWING QUALIFICATIONS. IN THE EVENT THE SUPERINTENDENT WILL NOT BE PRESENT FOR ANY PERIOD OF TIME DURING CONTRACT WORK THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE IN WRITING TO THE DISTRICT, INCLUDING THE APPOINTMENT OF A QUALIFIED REPLACEMENT SUPERINTENDENT WHO WILL BE PRESENT DURING THE CONSTRUCTION. WORK SHALL NOT BE ALLOWED TO PROCEED UNLESS THE ASSIGNED SUPERINTENDENT IS PRESENT.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE HIS COMPLETE FAMILIARITY WITH THE PROJECT SITE AND COMPONENTS TO INCLUDE SUBSURFACE CONDITIONS OF SOIL AND GROUNDWATER TABLE.
8. DENSITY TESTS OF TRENCH BACKFILL MATERIAL SHALL BE REQUIRED AT INTERVALS OF NOT MORE THAN 500 FEET. DENSITY TESTS OF PAVEMENT OPEN-CUT AREAS INCLUDING ROADS, TURNLANES, AND DRIVES SHALL BE REQUIRED AT EACH OPEN-CUT AT INTERVALS OF NO MORE THAN 50 FEET. ALL TESTS SHALL COMMENCE AT THE TOP PIPE AND EVERY 12 INCHES TO THE FINISH GRADE. COMPACTION SHALL BE IN ACCORDANCE WITH EITHER PALM BEACH COUNTY (P.B.C.) OR THE TOWN OF JUPITER (T.O.J.) DEPENDING ON THE AREA OF CONSTRUCTION AND THE GOVERNING JURISDICTION. DETAILS ARE INCLUDED WITHIN. FLORIDA BEARING TESTS FOR THE STABILITY OF EXISTING SUBSOIL SHALL BE TAKEN AT INTERVALS OF NOT MORE THAN 500 FEET, AND CLOSER AS MIGHT BE NECESSARY IN THE EVENT OF VARIATIONS IN THE STRATA. A CERTIFIED COPY OF THE TESTS SHALL BE PROVIDED TO THE DISTRICT, P.B.C., AND T.O.J.. CONTRACTORS BID PRICE SHALL INCLUDE PAYMENT FOR ALL TESTS CONDUCTED BY AN INDEPENDENT TESTING LAB.
9. ANY LANDSCAPING DISTURBED, UNLESS OTHERWISE SHOWN ON THE PLANS, SHALL BE REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE DISTRICT AT THE CONTRACTORS EXPENSE.
10. ANY SIDEWALK, CURB AND GUTTER OR PAVEMENT DISTURBED, UNLESS OTHERWISE SHOWN ON PLANS, SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. UNLESS OTHERWISE SPECIFIED OR INDICATED, ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS AND ALL CONCRETE WORK SHALL COMPLY WITH THE CURRENT EDITION OF THE AMERICAN CONCRETE INSTITUTE (ACI) BUILDING CODE AND THE APPLICABLE BUILDING CODES HAVING JURISDICTION IN THE AREA. ALL CONSTRUCTION SHALL MEET ADA REQUIREMENTS THIS INCLUDES, BUT IS NOT LIMITED TO, DETECTABLE WARNING SURFACES.
11. ALL SOD IS TO BE PLACED FOR THE UNIT PRICES FOR SOD. SOD SHALL BE REPLACED TO MATCH EXISTING KIND UNLESS OTHERWISE SHOWN ON PLANS.
12. CONTRACTOR SHALL PROVIDE PROPER BENDS TO MAINTAIN REQUIRED DEPTH AND ALIGNMENT OF PIPE. COST OF BENDS NOT DESIGNATED ON PLANS SHALL BE INCLUDED WITH THE UNIT PRICE FOR PIPE.
13. ANY TREES AND/OR SCRUB OR OTHER VEGETATION NOT TO BE REPLACED SHALL BE REMOVED FROM THE PROJECT AT THE CONTRACTOR'S EXPENSE.
14. ALL RUBBLE AND UNSUITABLE MATERIAL MUST BE REMOVED FROM THE PROJECT AND DISPOSED OF PROPERLY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
15. DEFLECT PIPE AS NECESSARY TO OBTAIN THE REQUIRED ALIGNMENT. USE APPROPRIATE FITTINGS WHEN DEFLECTION EXCEEDS 75% OF MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTION.
16. ALL FITTINGS SHALL BE MECHANICALLY RESTRAINED. REFER TO LRD MINIMUM DESIGN AND CONSTRUCTION STANDARDS (LATEST EDITION).
17. ALL CONSTRUCTION DEWATERING (WELL POINTS, SUMPS, ETC) WILL REQUIRE A DEWATERING PERMIT FROM SOUTH FLORIDA WATER MANAGEMENT DISTRICT. THIS SHALL BE OBTAINED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE PRIOR TO BEGINNING OF CONSTRUCTION.
18. THE "TRENCH SAFETY ACT" SHALL BE INCORPORATED INTO THIS CONTRACT AS ENACTED BY THE LEGISLATURE OF THE STATE OF FLORIDA TO BE IN EFFECT AS OF OCTOBER 1, 1990.
19. A PERMIT IS REQUIRED FOR ALL WORK WITHIN P.B.C. AND T.O.J. RIGHT-OF-WAY. THESE PERMITS MUST BE OBTAINED BY THE CONTRACTOR FROM THE P.B.C. OR T.O.J. ENGINEERING DEPARTMENT. ALL COSTS PAYABLE BY THE CONTRACTOR. A COPY OF THIS PERMIT MUST BE MAINTAINED ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
20. ALL CONCRETE AND ASPHALT DRIVES MUST BE REPLACED FROM SAW CUT TO EDGE OF PAVEMENT.
21. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING THEIR PLAN FOR ON-SITE STAGING AND STORAGE AREAS FOR EQUIPMENT AND MATERIAL.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

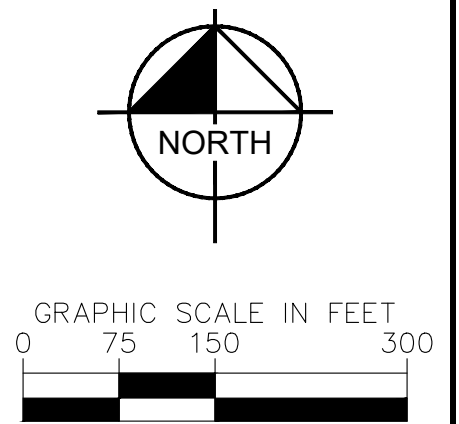
VERTICAL DATUM  
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<b>BID SET</b>				<b>Kimley»Horn</b>		KHA PROJECT 140790002 DATE MAY 2025 SCALE AS SHOWN DESIGNED BY SS DRAWN BY SS CHECKED BY TCJ		<b>A1A AND OCEAN PARKS FM REPLACEMENT</b> PREPARED FOR <b>LOXAHATCHEE RIVER DISTRICT</b> JUPITER, FLORIDA		LICENSED PROFESSIONAL  THOMAS C. JENSEN  37290 DATE: _____		<b>GENERAL NOTES</b>		SHEET NUMBER  <b>C-2</b>	
No.		REVISIONS		DATE		BY									
				2-17-25		MJM									

1920 WEKIVA WAY SUITE 200, WEST PALM BEACH, FL 33411  
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KHA PROJECT	140790002
DATE	MAY 2025
SCALE	AS SHOWN
DESIGNED BY	SS
DRAWN BY	SS
CHECKED BY	TCJ

**A1A AND OCEAN PARKS  
FM REPLACEMENT**

PREPARED FOR  
**LOXAHATCHEE RIVER DISTRICT**

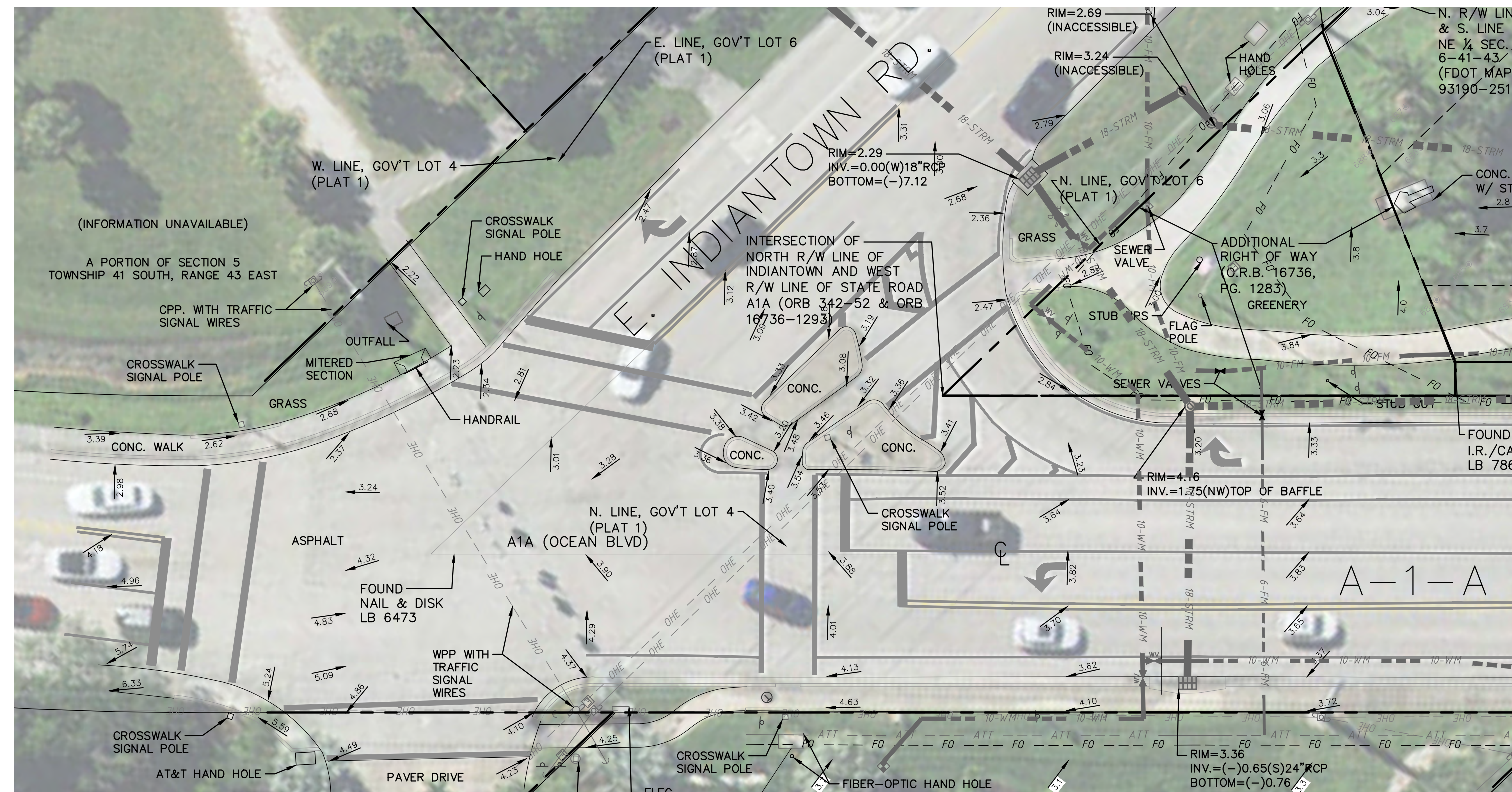
JUPITER, FLORIDA

LICENSED PROFESSIONAL  
 THOMAS C. JENSEN  
 37290

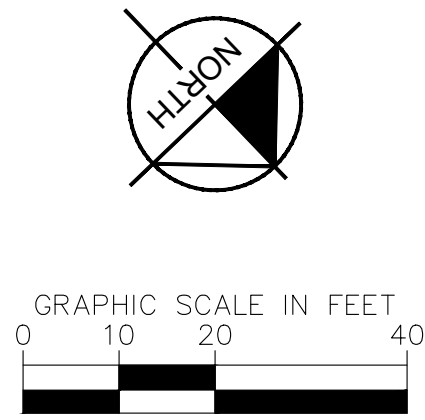
**OVERALL AERIAL PLAN AND KEY  
MAP**

SHEET NUMBER  
**C-3**

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MATCHLINE - SEE SHEET C-5



NO WORK ON THIS SHEET.  
PROVIDED FOR REFERENCE TO  
SURVEY AT THE INTERSECTION  
OF INDIANTOWN RD. AND A-1-A

- NOTE:**
1. MAINTAIN MINIMUM 4 FT. HORIZONTAL CLEARANCES FROM OUTSIDE OF ALL PBC UTILITY CONDUITS.
  2. MAINTAIN MINIMUM 1 FT. VERTICAL CLEARANCE FROM OUTSIDE OF ALL PBC UTILITY CONDUITS.

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**A1A AND OCEAN PARKS  
FM REPLACEMENT**  
PREPARED FOR  
**LOXAHATCHEE RIVER DISTRICT**  
JUPITER, FLORIDA

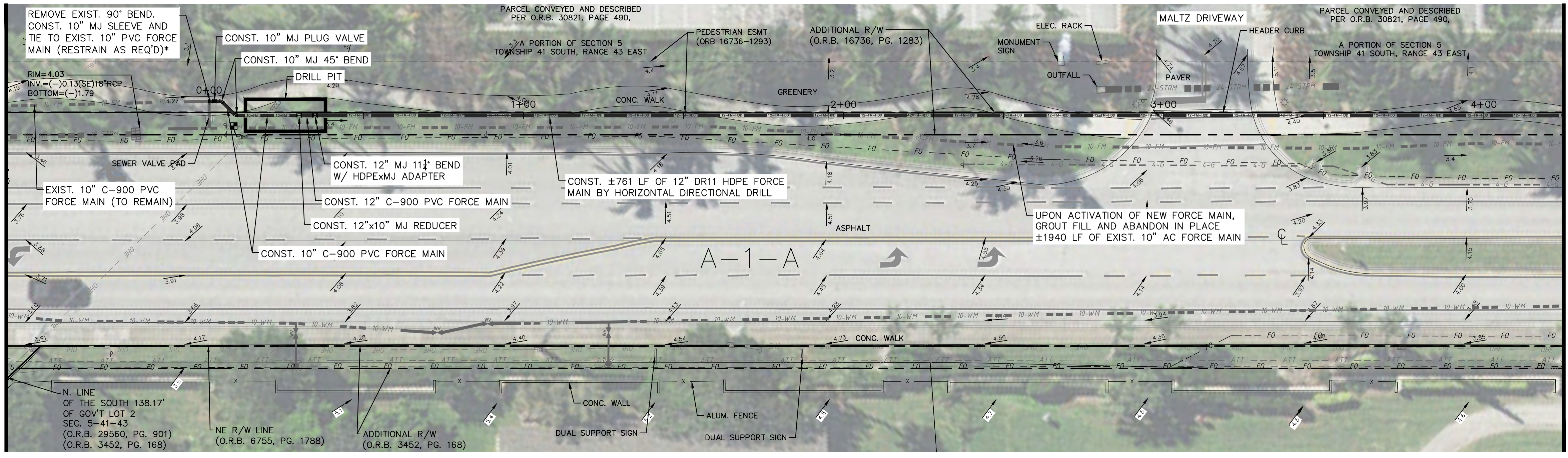
LICENSED PROFESSIONAL	THOMAS C. JENSEN
37290	DATE: _____

**A1A FM REPLACEMENT PLAN**

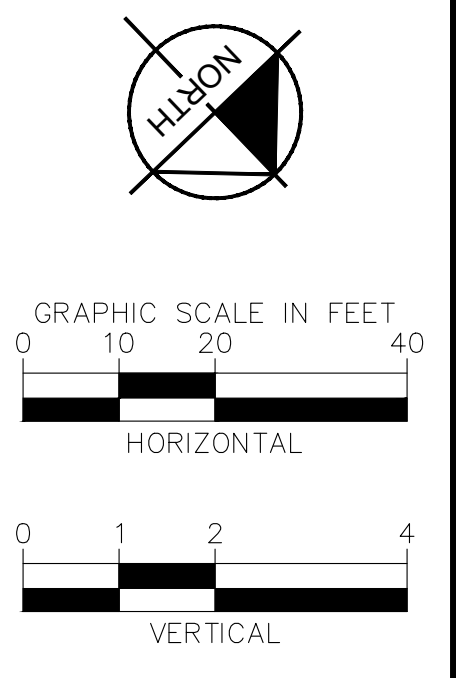
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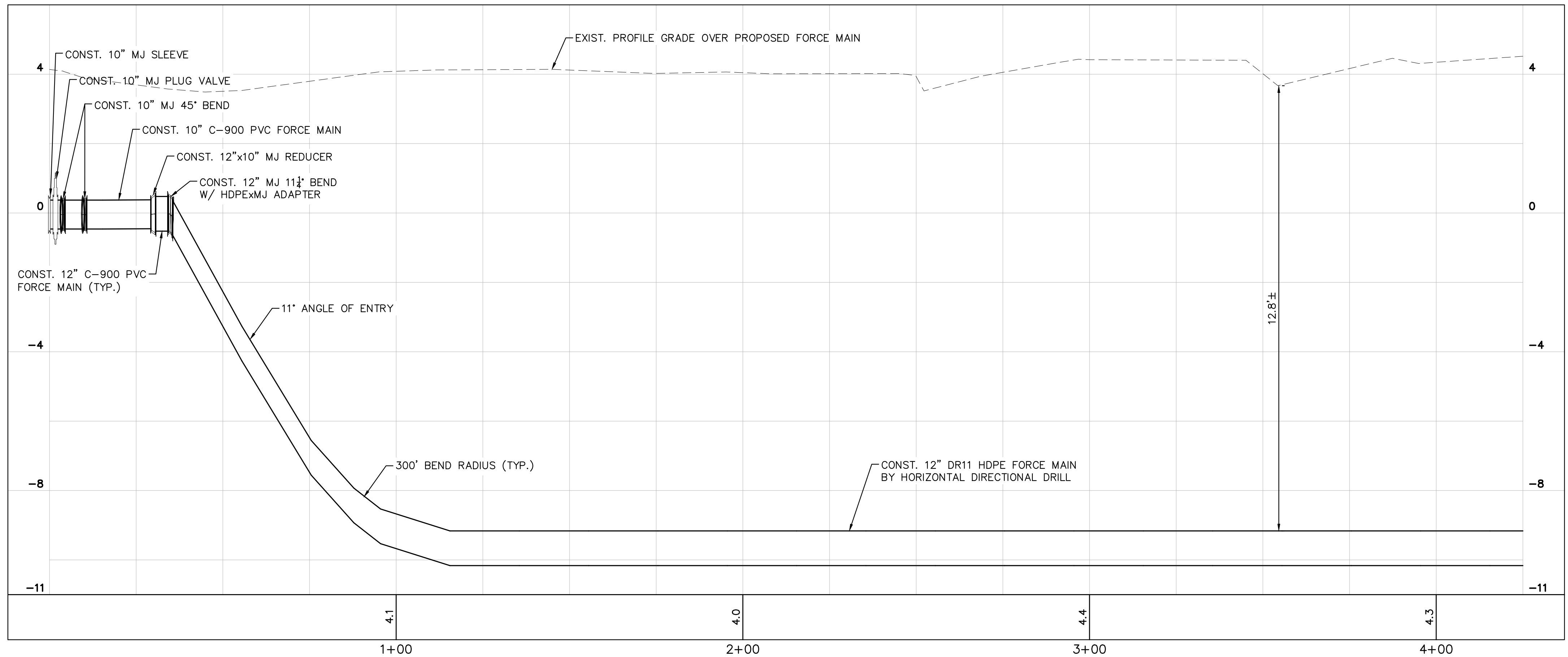
MATCHLINE - SEE SHEET C-4



MATCHLINE - STA 4+25, SEE SHEET C-6



TEST HOLE 1  
10" FORCE MAIN  
4.63' COVER



**NOTE:**  
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KHA PROJECT	140790002
DATE	MAY 2025
SCALE	AS SHOWN
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DRAWN BY	SS
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**A1A AND OCEAN PARKS  
FM REPLACEMENT**  
PREPARED FOR  
**LOXAHATCHEE RIVER DISTRICT**  
JUPITER, FLORIDA

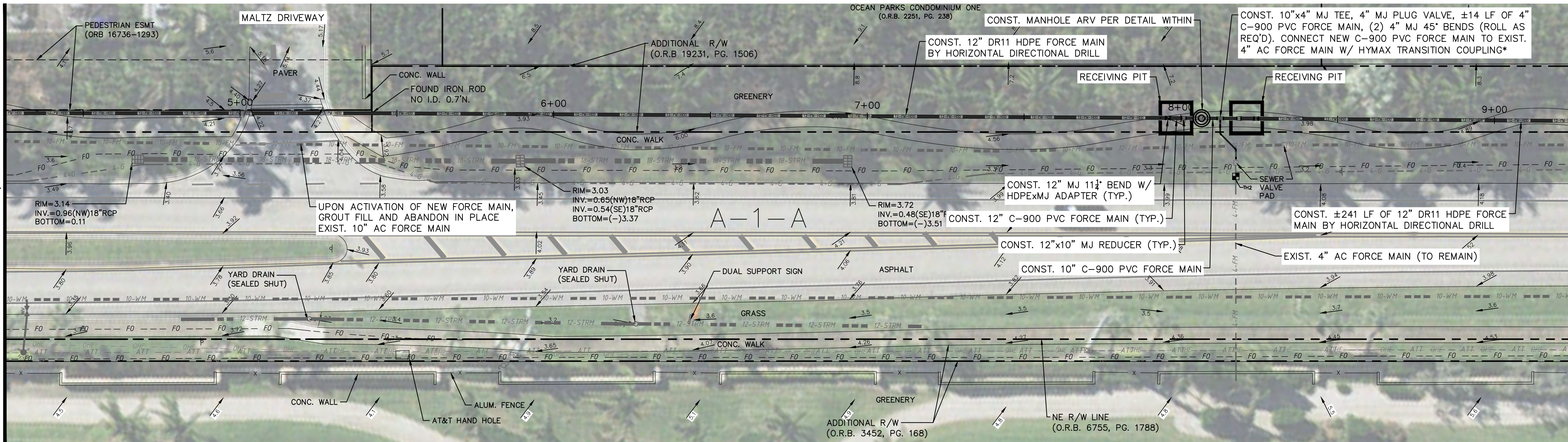
LICENSED PROFESSIONAL	THOMAS C. JENSEN
37290	DATE: _____

**A1A FM REPLACEMENT PLAN  
AND PROFILE**

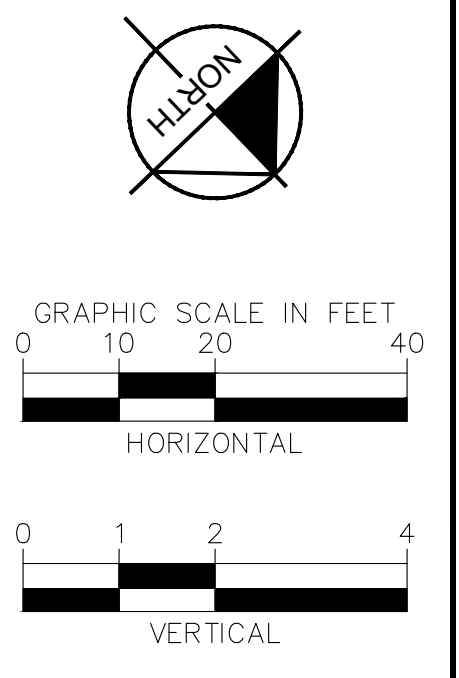
SHEET NUMBER	<b>C-5</b>
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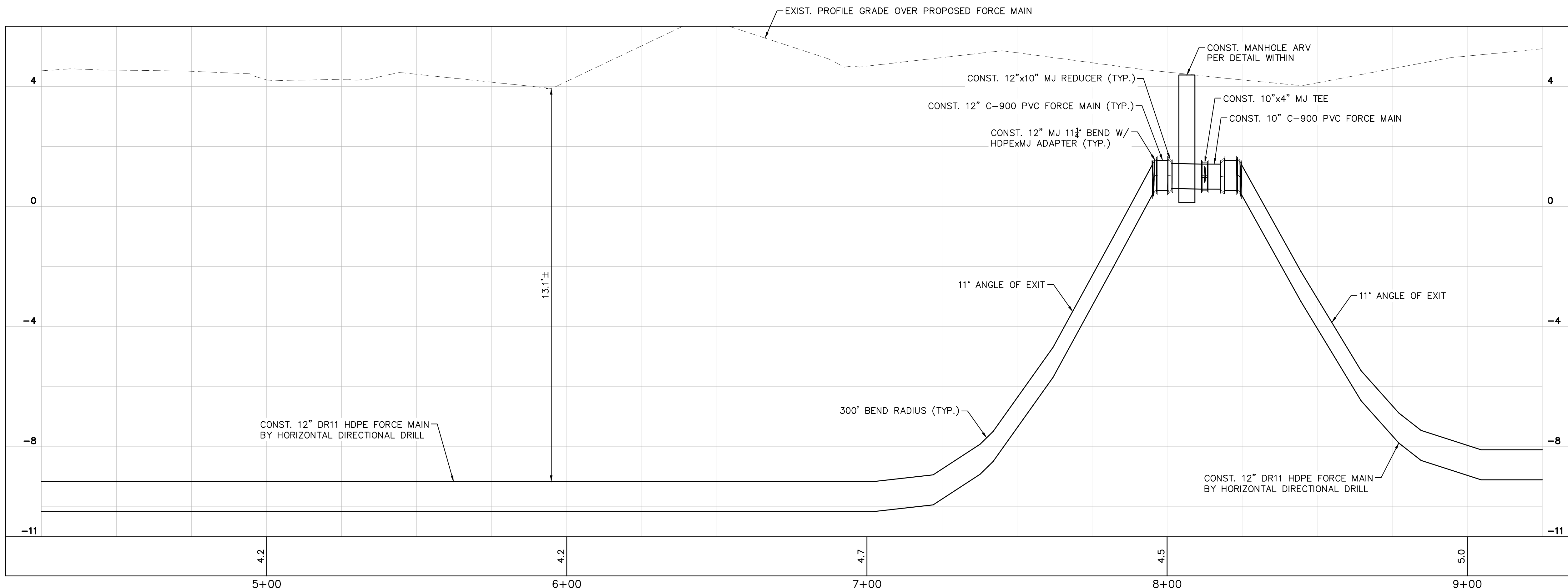
MATCHLINE - STA 4+25, SEE SHEET C-5



MATCHLINE - STA 9+25, SEE SHEET C-7



TEST HOLE 2  
4" FORCE MAIN  
3.52' COVER



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**A1A AND OCEAN PARKS FM REPLACEMENT**  
 PREPARED FOR  
**LOXAHATCHEE RIVER DISTRICT**  
 JUPITER, FLORIDA

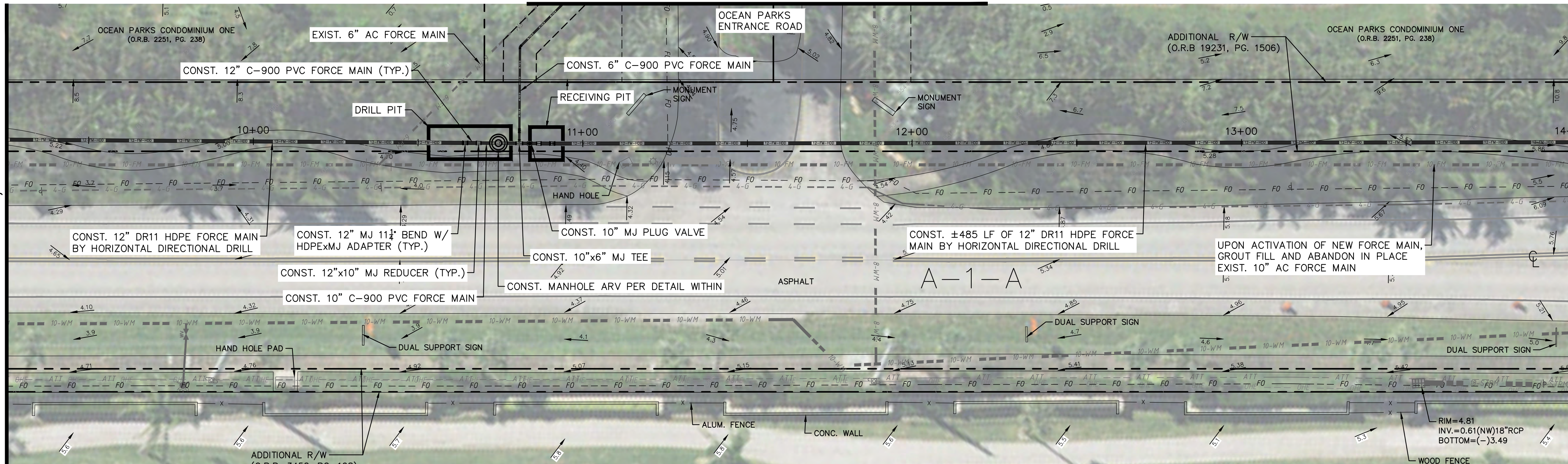
LICENSED PROFESSIONAL  
 THOMAS C. JENSEN  
 37290

**A1A FM REPLACEMENT PLAN AND PROFILE**

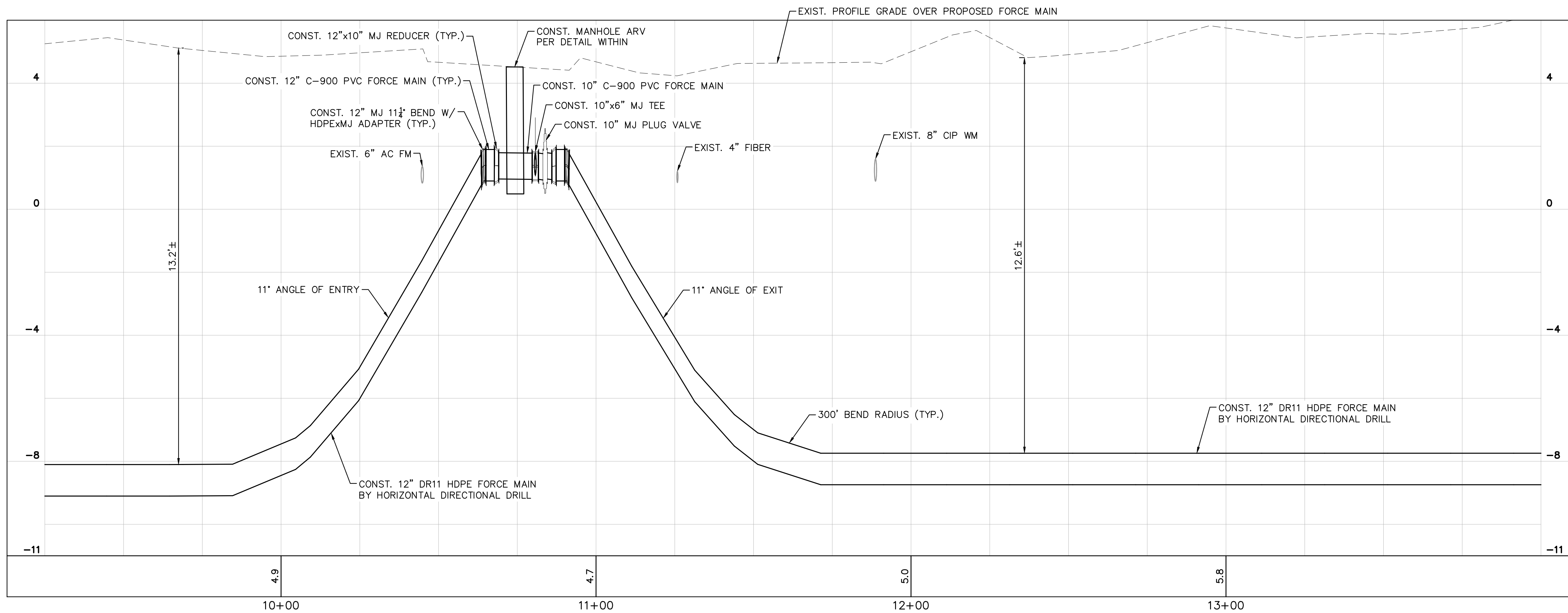
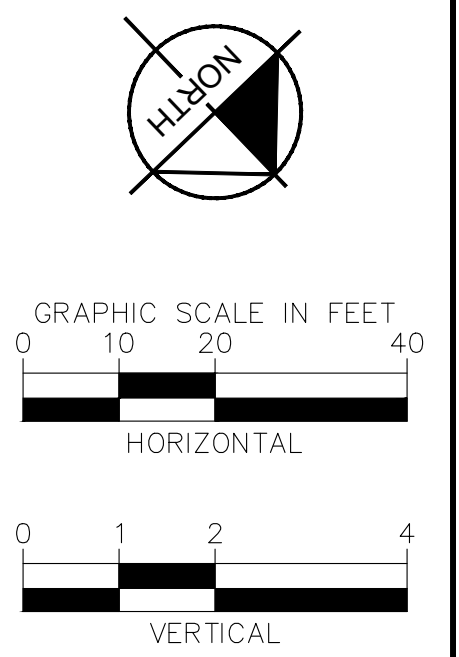
SHEET NUMBER  
**C-6**

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MATCHLINE - STA 9+25, SEE SHEET C-6



MATCHLINE - STA 14+00, SEE SHEET C-8



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  2. MAINTAIN MINIMUM 1 FT. VERTICAL CLEARANCE FROM OUTSIDE OF ALL PBC UTILITY CONDUITS.
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DATUM CONVERSION: NAVD88 + 1.514 = NGVD29
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KHA PROJECT	140790002
DATE	MAY 2025
SCALE	AS SHOWN
DESIGNED BY	SS
DRAWN BY	SS
CHECKED BY	TCJ

**A1A AND OCEAN PARKS  
FM REPLACEMENT**  
PREPARED FOR  
**LOXAHATCHEE RIVER DISTRICT**  
JUPITER, FLORIDA

LICENSED PROFESSIONAL  
**THOMAS C. JENSEN**  
37290

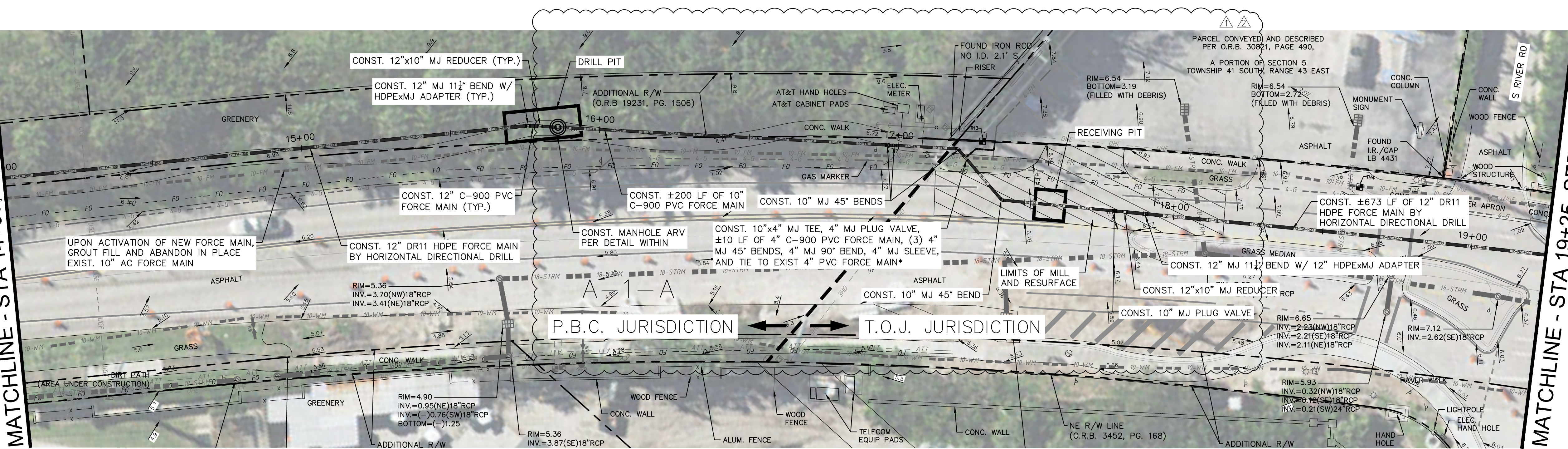
**A1A FM REPLACEMENT PLAN  
AND PROFILE**

SHEET NUMBER  
**C-7**

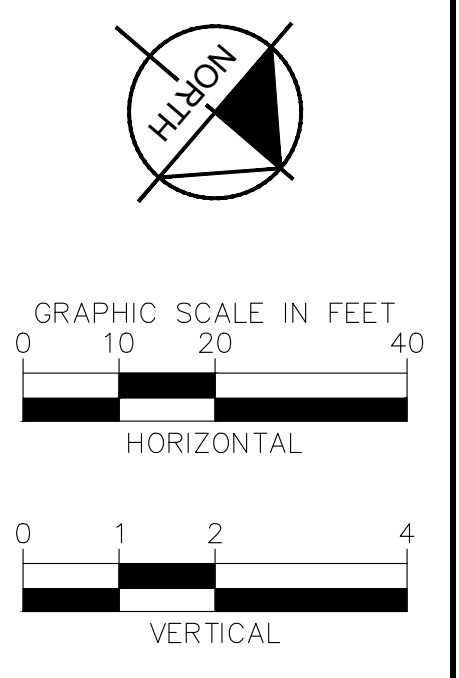


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MATCHLINE - STA 14+00, SEE SHEET C-7

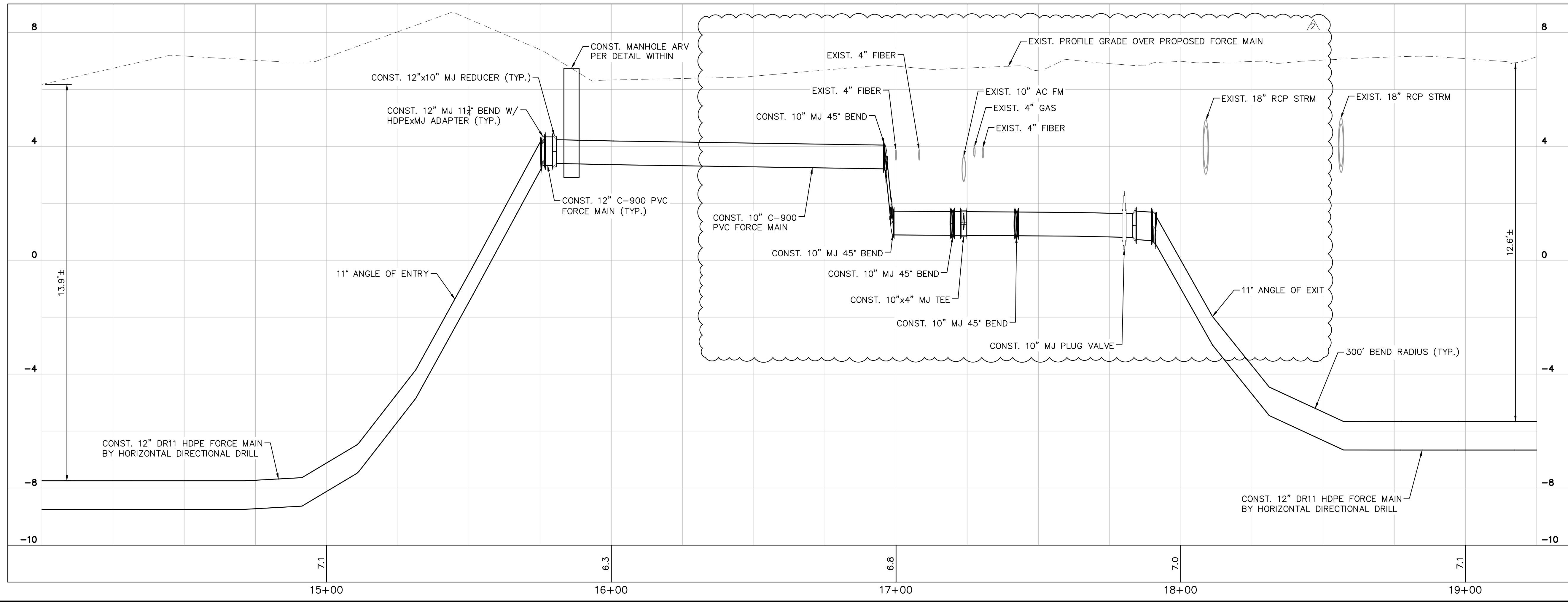


MATCHLINE - STA 19+25, SEE SHEET C-9



TEST HOLE 3  
4" FORCE MAIN  
3.56' COVER

TEST HOLE 4  
10" FORCE MAIN  
4.12' COVER



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PREPARED FOR  
**LOXAHATCHEE RIVER DISTRICT**

JUPITER, FLORIDA

LICENSED PROFESSIONAL

THOMAS C. JENSEN

37290

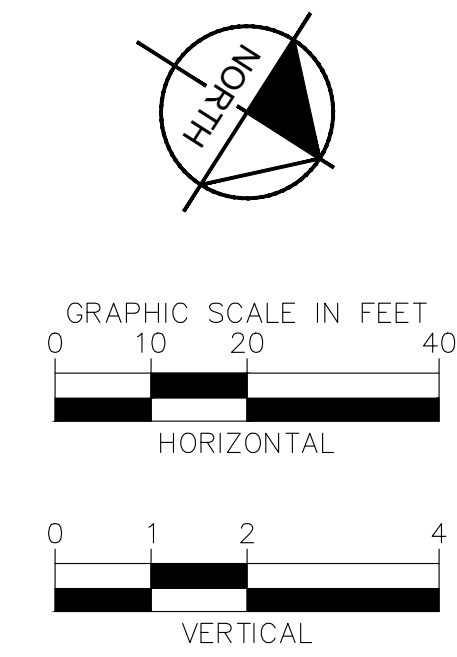
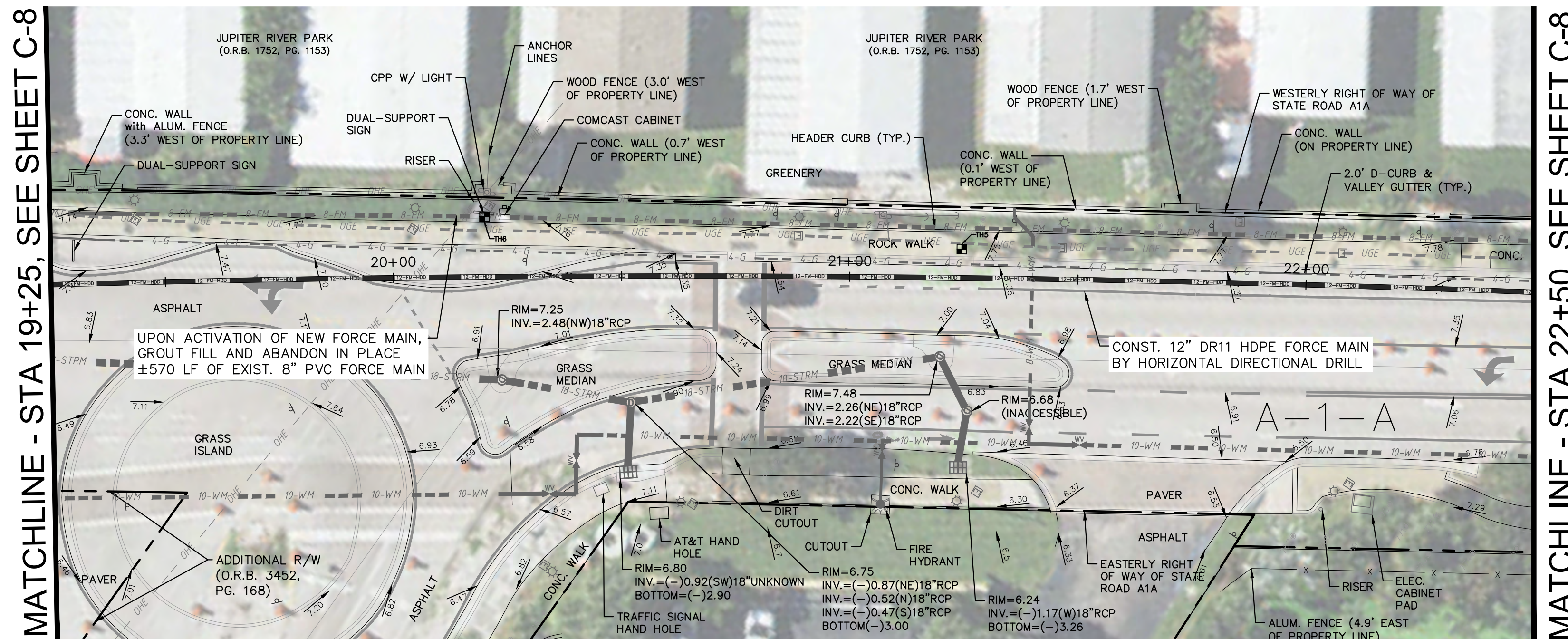
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**A1A FM REPLACEMENT PLAN AND PROFILE**

SHEET NUMBER

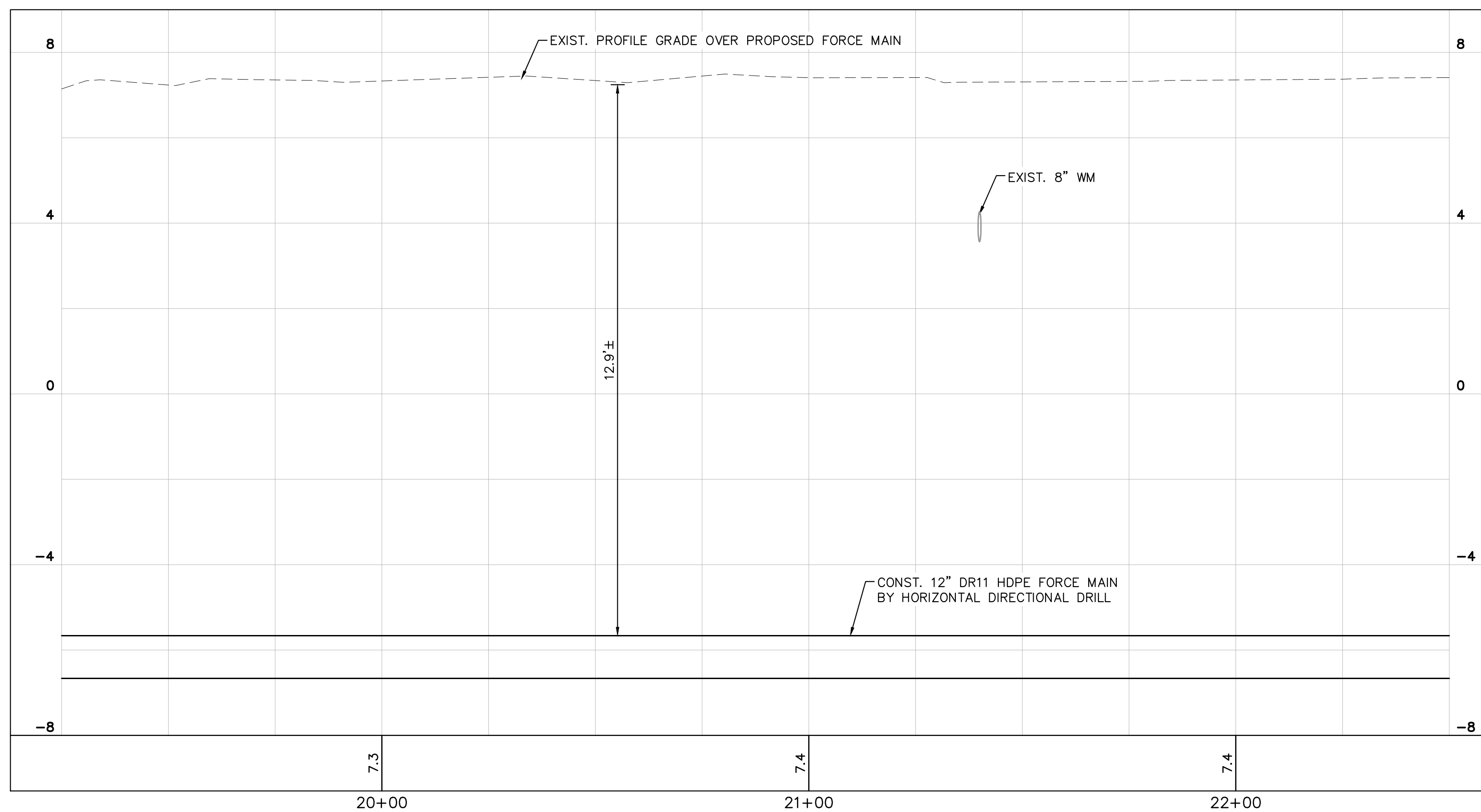
**C-8**

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TEST HOLE 5  
8" FORCE MAIN  
3.95' COVER

TEST HOLE 6  
8" FORCE MAIN  
4.18' COVER



**NOTE:**

1. MAINTAIN MINIMUM 4 FT. HORIZONTAL CLEARANCES FROM OUTSIDE OF ALL PBC UTILITY CONDUITS.
2. MAINTAIN MINIMUM 1 FT. VERTICAL CLEARANCE FROM OUTSIDE OF ALL PBC UTILITY CONDUITS.

**SIDEWALK RESTORATION NOTE:**  
NO PARTIAL FLAGS WILL BE ACCEPTED IN SIDEWALK RESTORATION

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

**VERTICAL DATUM:**  
ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.  
DATUM CONVERSION: NAVD88 + 1.514 = NGVD29

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<b>BID SET</b>			
No.	REVISIONS	DATE	BY
1	PBC REVISIONS	2-17-25	MJM

**Kimley»Horn**

1920 WEKIVA WAY SUITE 200, WEST PALM BEACH, FL 33411  
PHONE: 561-845-0665 FAX: 561-863-8175  
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT	140790002
DATE	MAY 2025
SCALE	AS SHOWN
DESIGNED BY	SS
DRAWN BY	SS
CHECKED BY	TCJ

**A1A AND OCEAN PARKS FM REPLACEMENT**

PREPARED FOR  
**LOXAHATCHEE RIVER DISTRICT**

JUPITER, FLORIDA

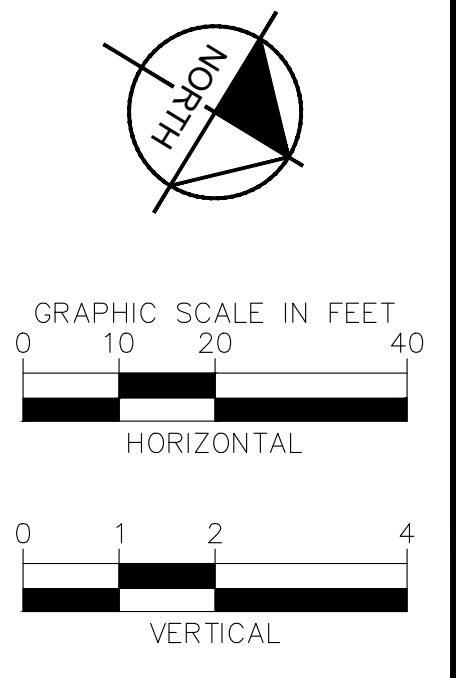
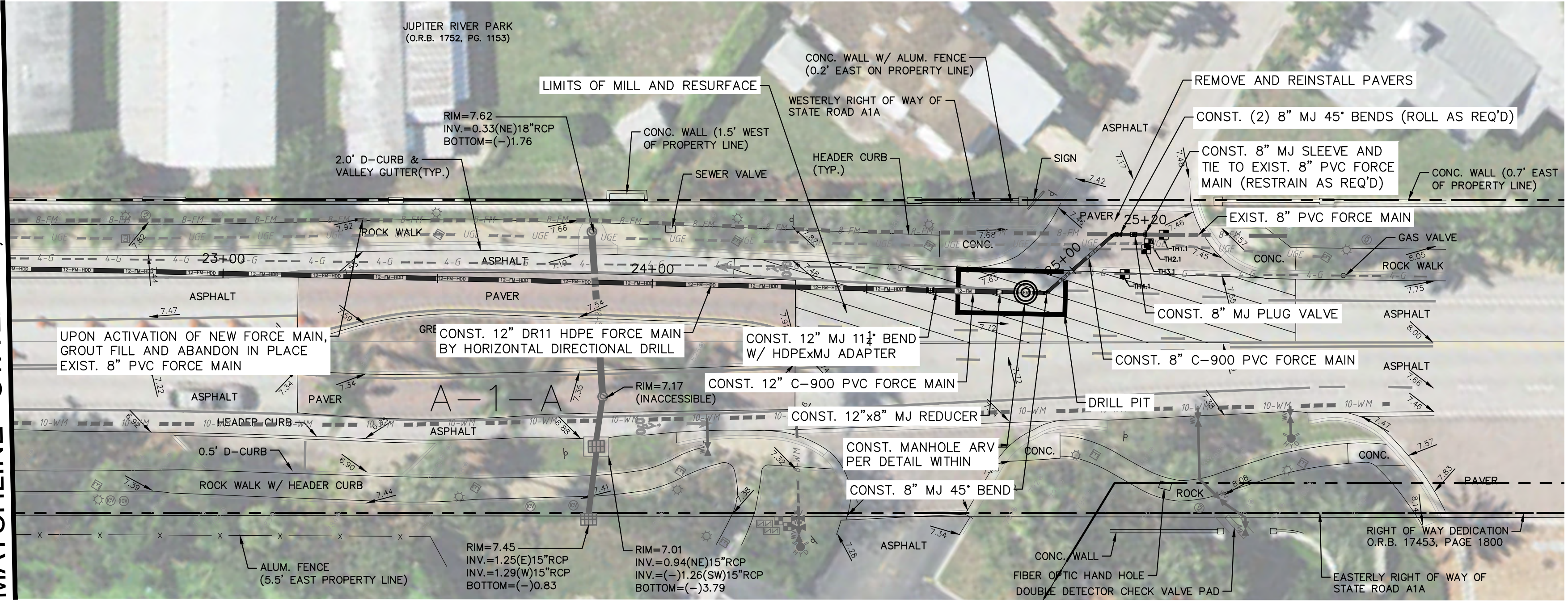
LICENSED PROFESSIONAL	THOMAS C. JENSEN
37290	DATE: _____

**A1A FM REPLACEMENT PLAN AND PROFILE**

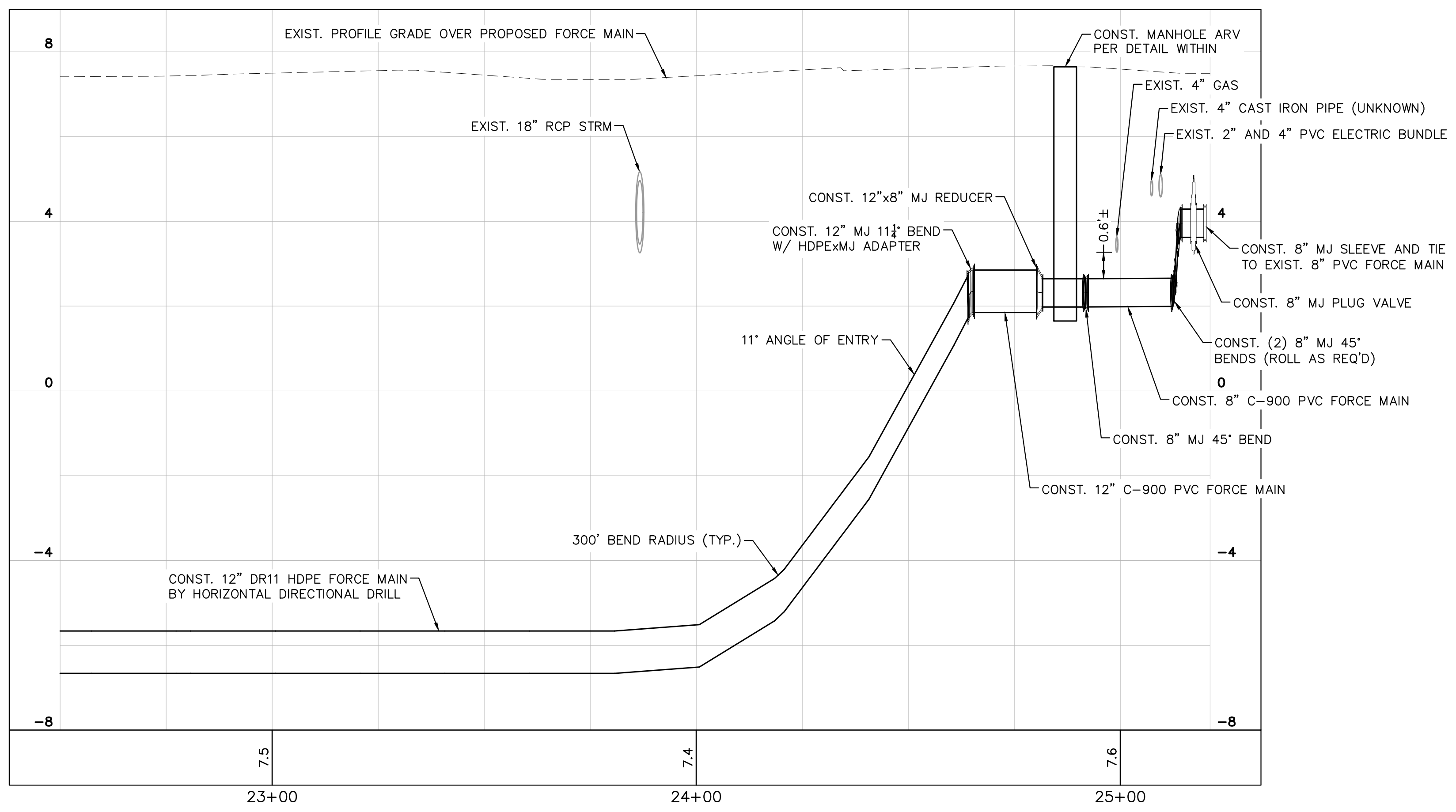
SHEET NUMBER	<b>C-9</b>
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MATCHLINE - STA 22+50, SEE SHEET C-8



- TEST HOLE 1.1  
8" FORCE MAIN  
3.15' COVER
- TEST HOLE 2.1  
2" & 4" ELECTRIC  
2.40' COVER
- TEST HOLE 3.1  
4" UNKNOWN  
2.58' COVER
- TEST HOLE 4.1  
4" GAS  
4.01' COVER



**NOTE:**

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2. MAINTAIN MINIMUM 1 FT. VERTICAL CLEARANCE FROM OUTSIDE OF ALL PBC UTILITY CONDUITS.

**\*ASBESTOS CONCRETE (A.C.) PIPE DISPOSAL NOTE:** THIS CONNECTION MAY REQUIRE A PORTION OF EXISTING A.C. PIPE TO BE REMOVED AS REQUIRED TO MAKE THE NEW CONNECTIONS SHOWN. CONTRACTOR IS RESPONSIBLE TO HANDLE, BAG AND DISPOSE OF ANY EXISTING A.C. PIPE ACCORDING TO LOCAL AND STATE REGULATIONS.

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KHA PROJECT 140790002
DATE MAY 2025
SCALE AS SHOWN
DESIGNED BY SS
DRAWN BY SS
CHECKED BY TCJ

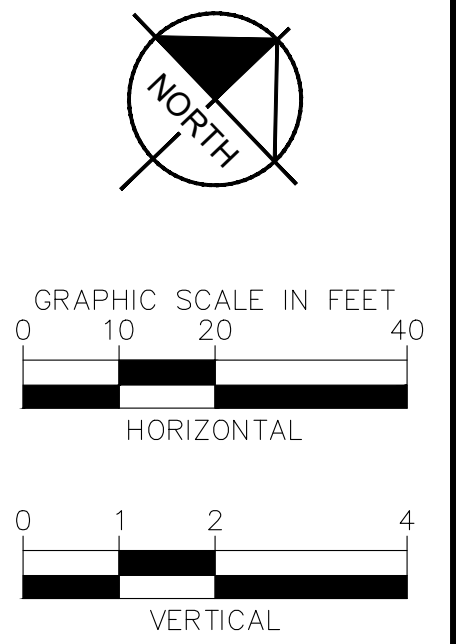
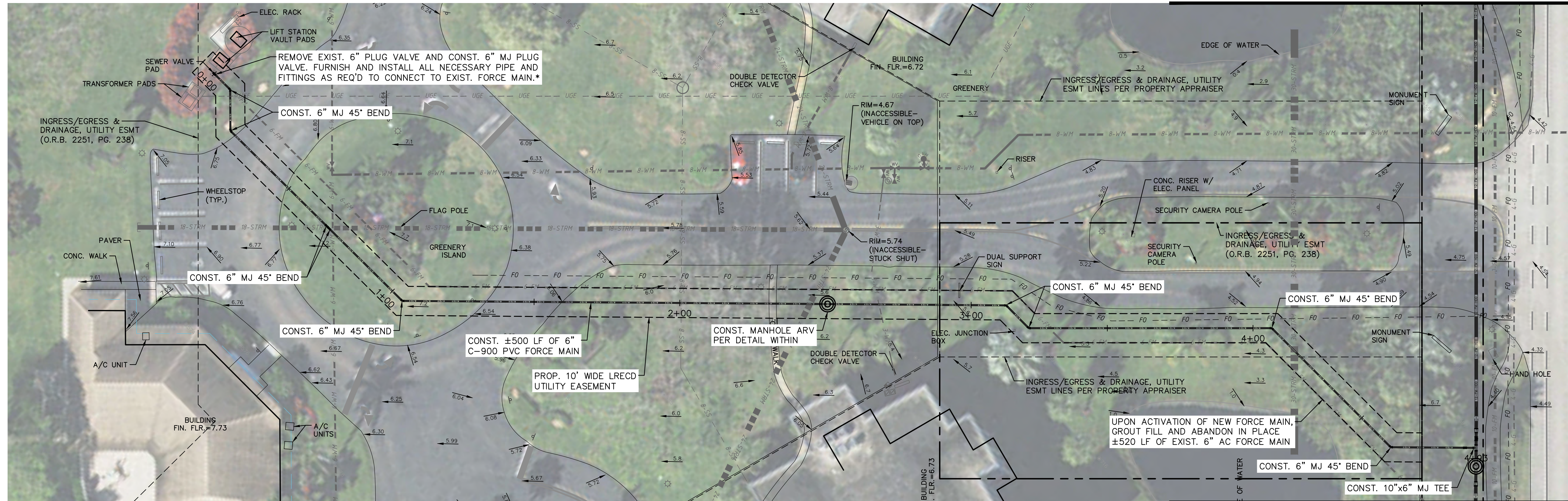
**A1A AND OCEAN PARKS  
FM REPLACEMENT**  
PREPARED FOR  
**LOXAHATCHEE RIVER DISTRICT**  
JUPITER, FLORIDA

LICENSED PROFESSIONAL THOMAS C. JENSEN 37290
DATE: _____

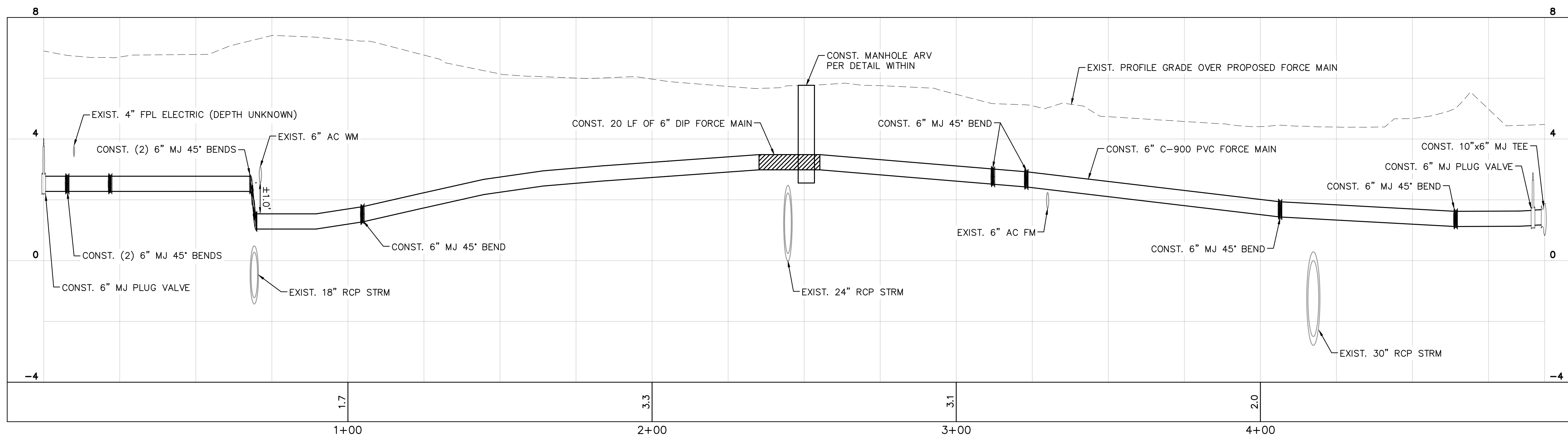
**A1A FM REPLACEMENT PLAN  
AND PROFILE**

SHEET NUMBER <b>C-10</b>
-----------------------------

MATCHLINE - SEE SHEET C-7



MATCHLINE - SEE SHEET C-7



- NOTE:**
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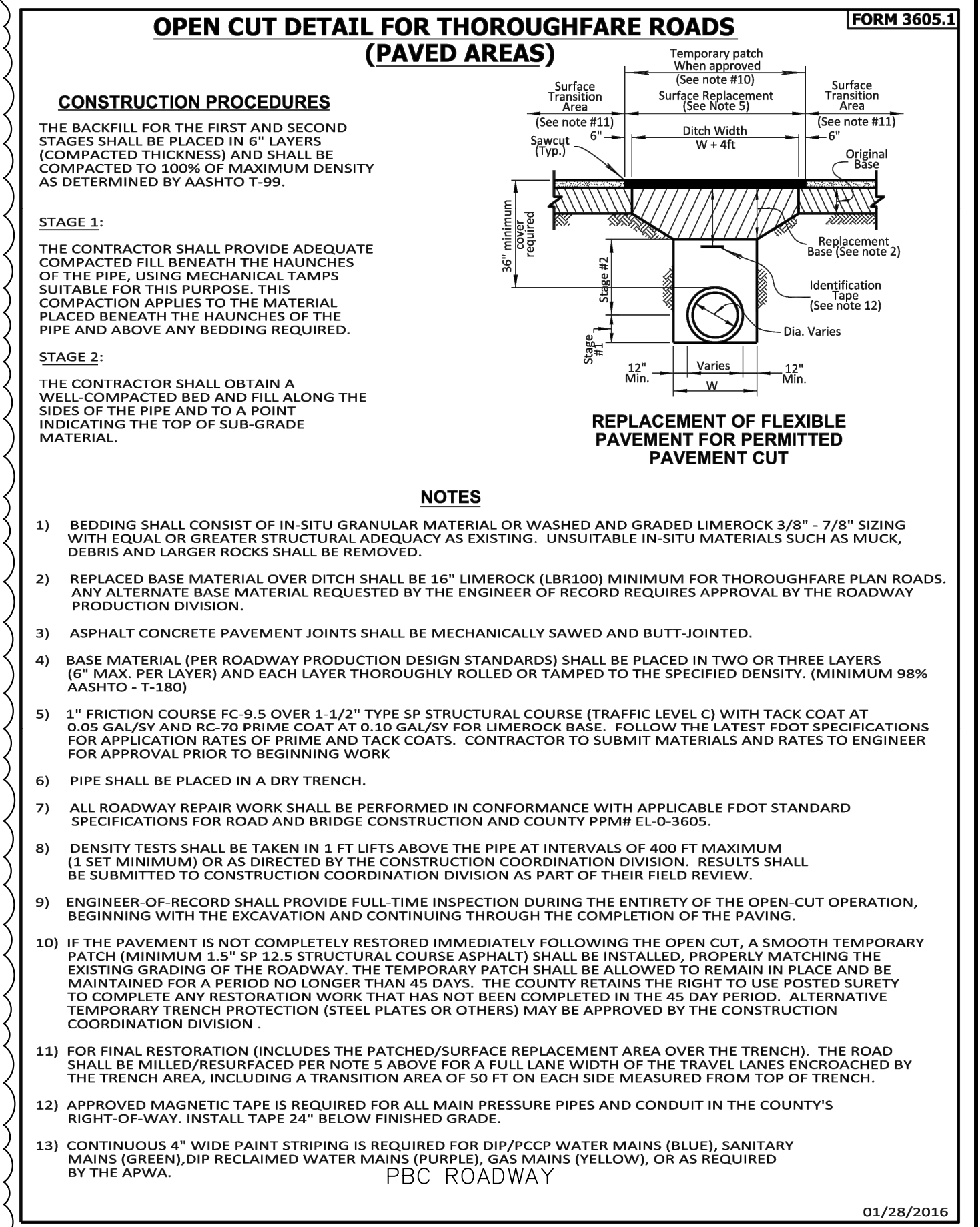
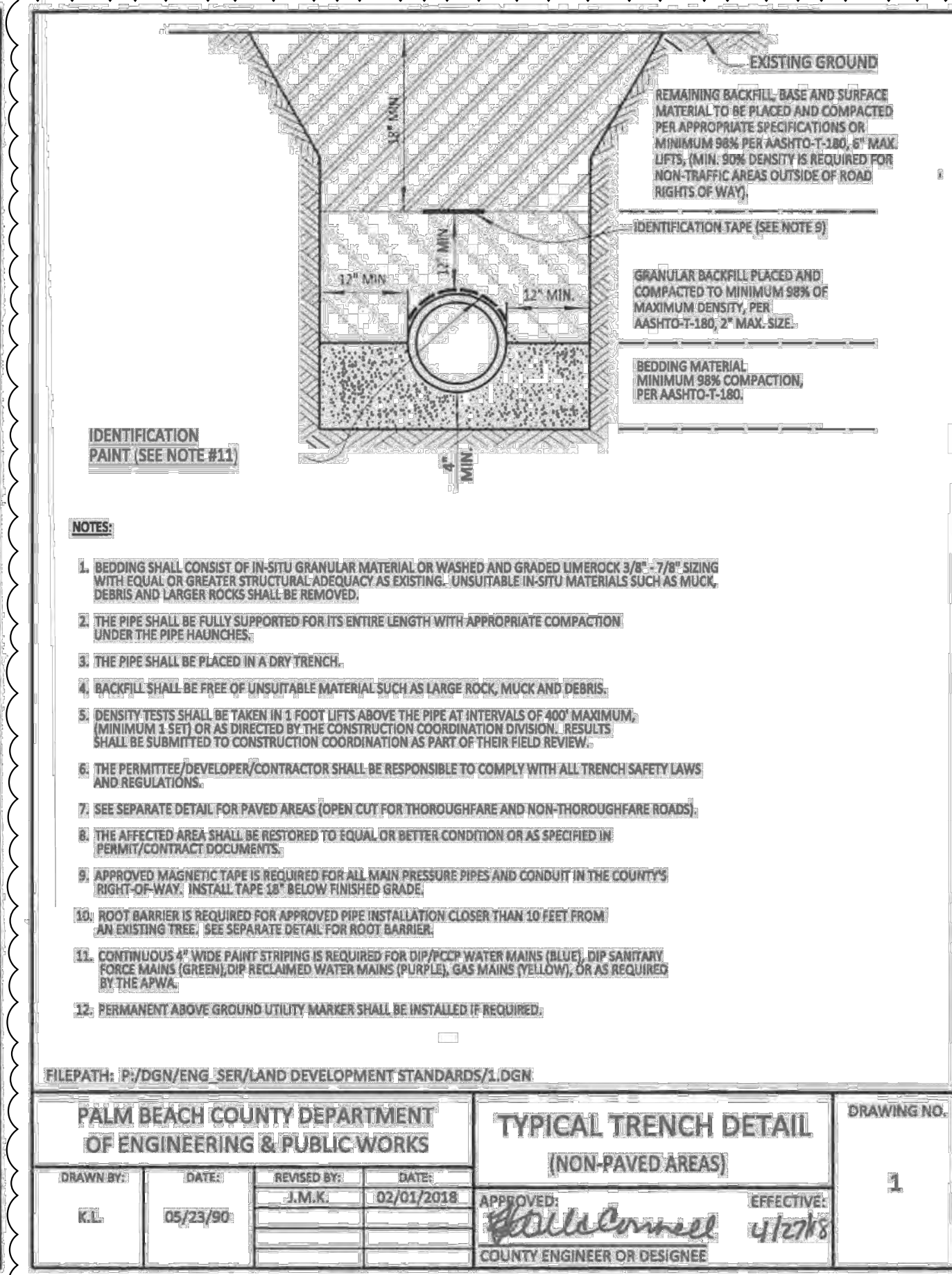
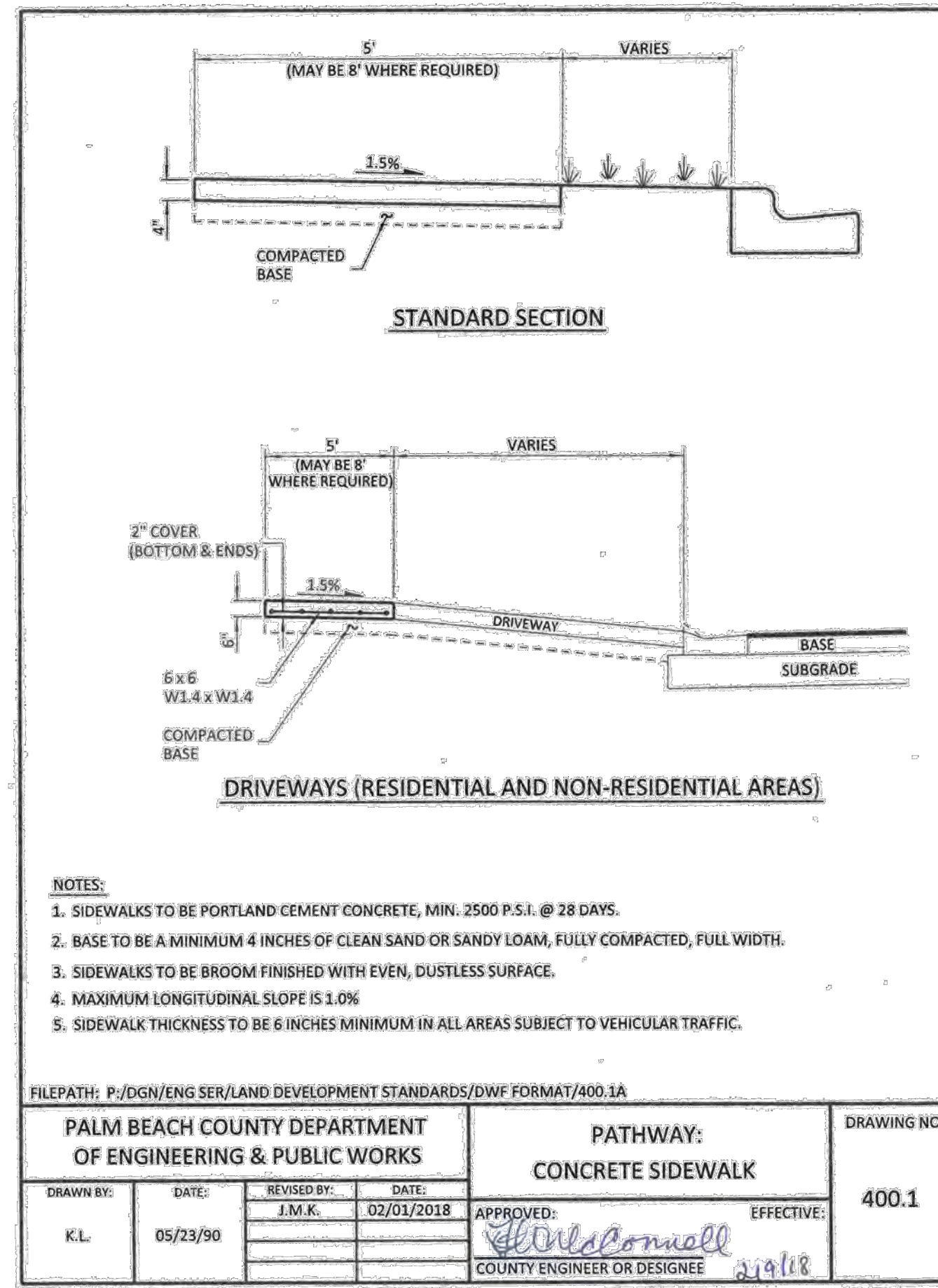
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<table border="1"> <tr> <td colspan="2">PBC REVISIONS</td> <td>2-17-25</td> <td>MJM</td> </tr> <tr> <td>No.</td> <td>REVISIONS</td> <td>DATE</td> <td>BY</td> </tr> </table>			PBC REVISIONS		2-17-25	MJM	No.	REVISIONS	DATE	BY	<table border="1"> <tr> <td>KHA PROJECT</td> <td>140790002</td> </tr> <tr> <td>DATE</td> <td>MAY 2025</td> </tr> <tr> <td>SCALE</td> <td>AS SHOWN</td> </tr> <tr> <td>DESIGNED BY</td> <td>SS</td> </tr> <tr> <td>DRAWN BY</td> <td>SS</td> </tr> <tr> <td>CHECKED BY</td> <td>TCJ</td> </tr> </table>	KHA PROJECT	140790002	DATE	MAY 2025	SCALE	AS SHOWN	DESIGNED BY	SS	DRAWN BY	SS	CHECKED BY	TCJ	JUPITER, FLORIDA		DATE: _____				
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KHA PROJECT 140790002  
 DATE MAY 2025  
 SCALE AS SHOWN  
 DESIGNED BY SS  
 DRAWN BY SS  
 CHECKED BY TCJ

**A1A AND OCEAN PARKS FM REPLACEMENT**

PREPARED FOR LOXAHATCHEE RIVER DISTRICT

JUPITER, FLORIDA

LICENSED PROFESSIONAL

THOMAS C. JENSEN

37290

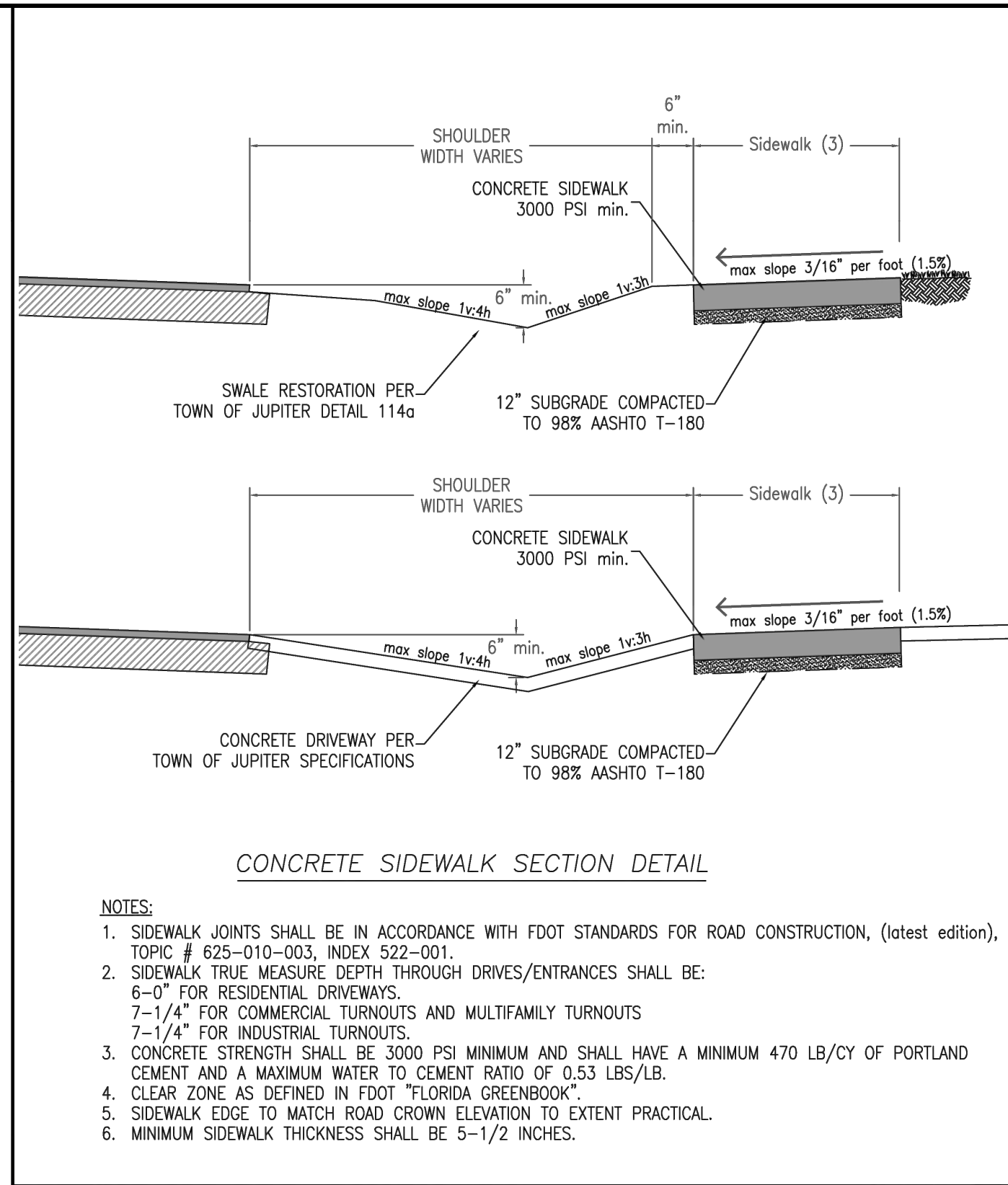
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**PALM BEACH COUNTY STANDARD DETAILS**

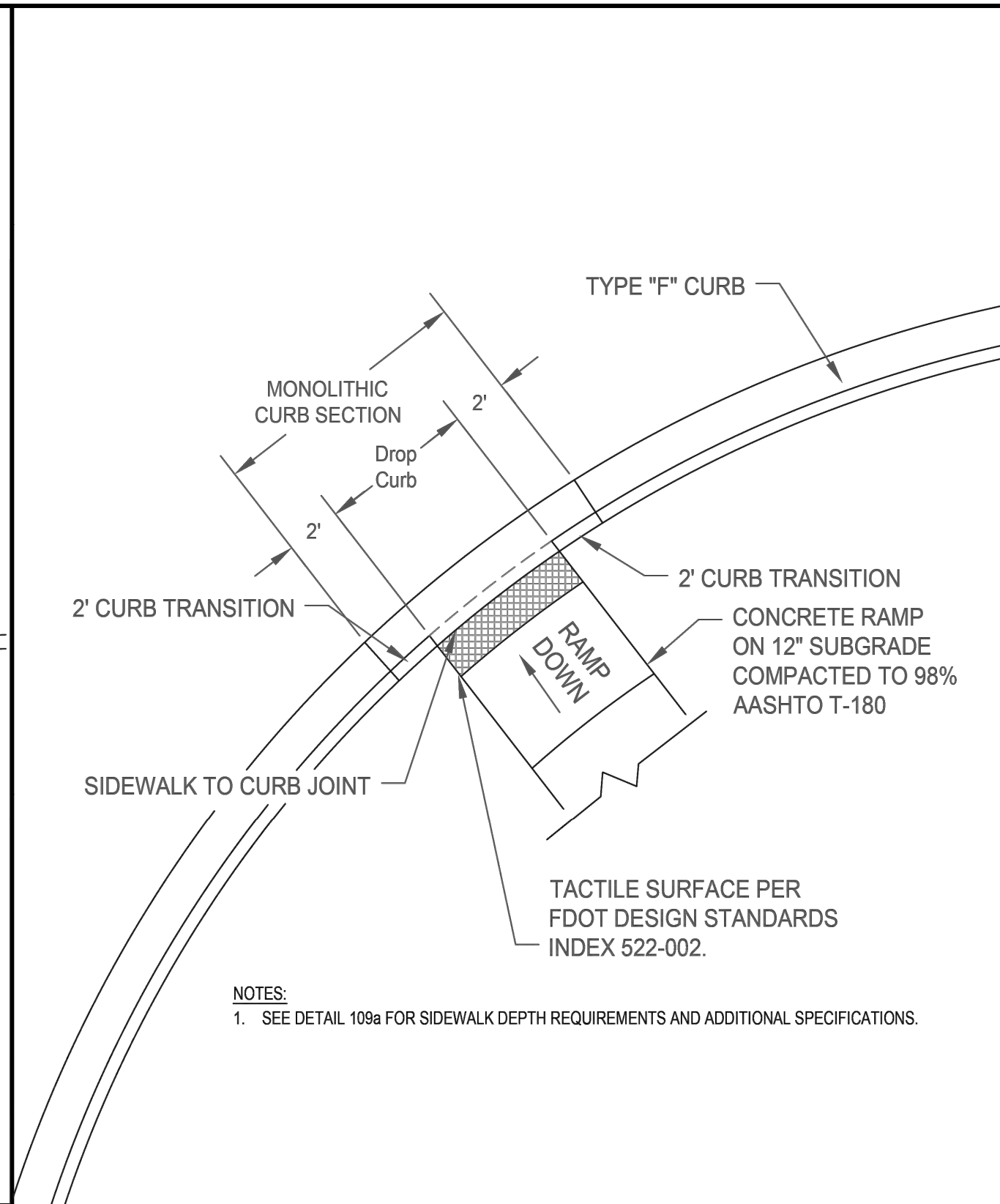
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**C-12**

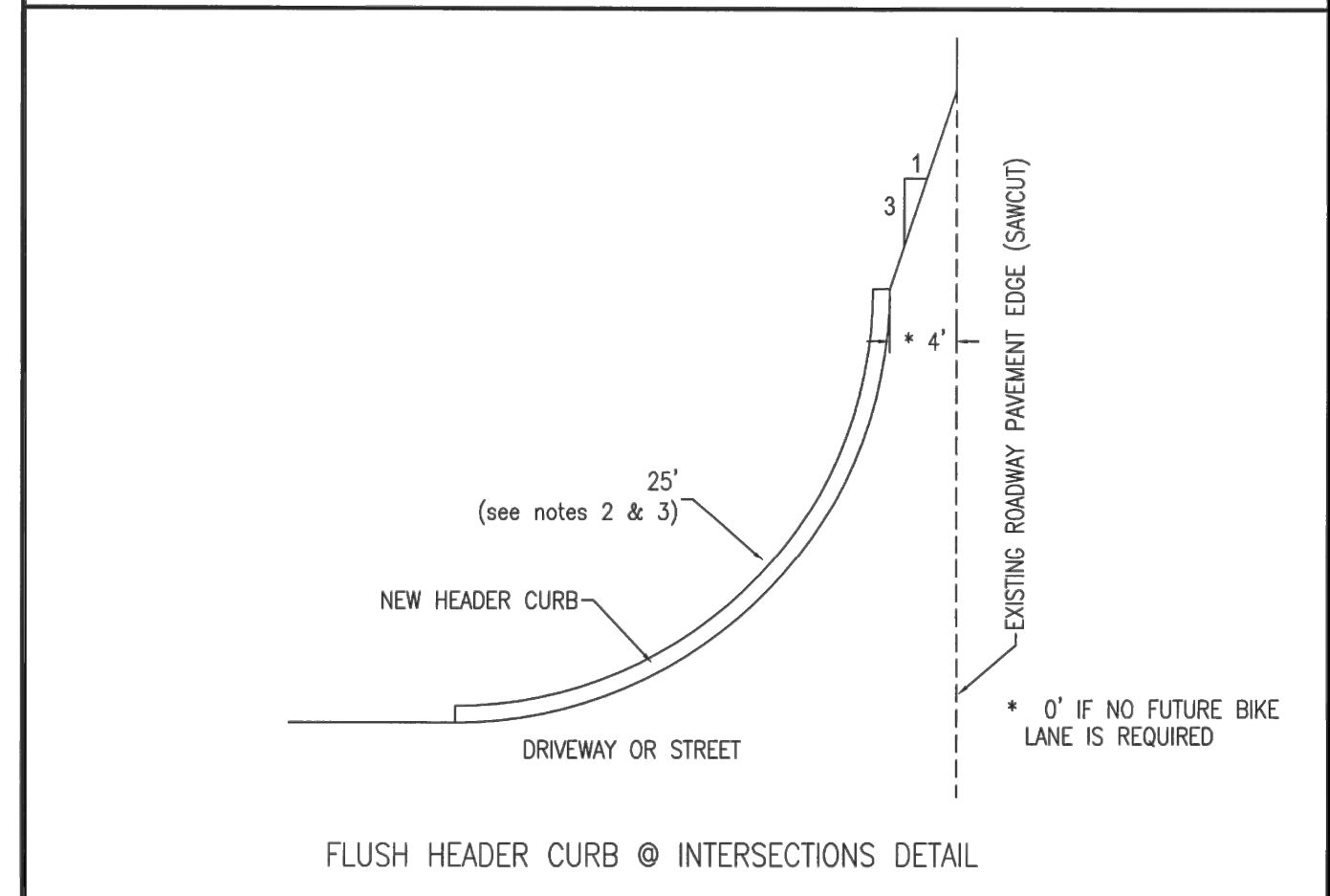
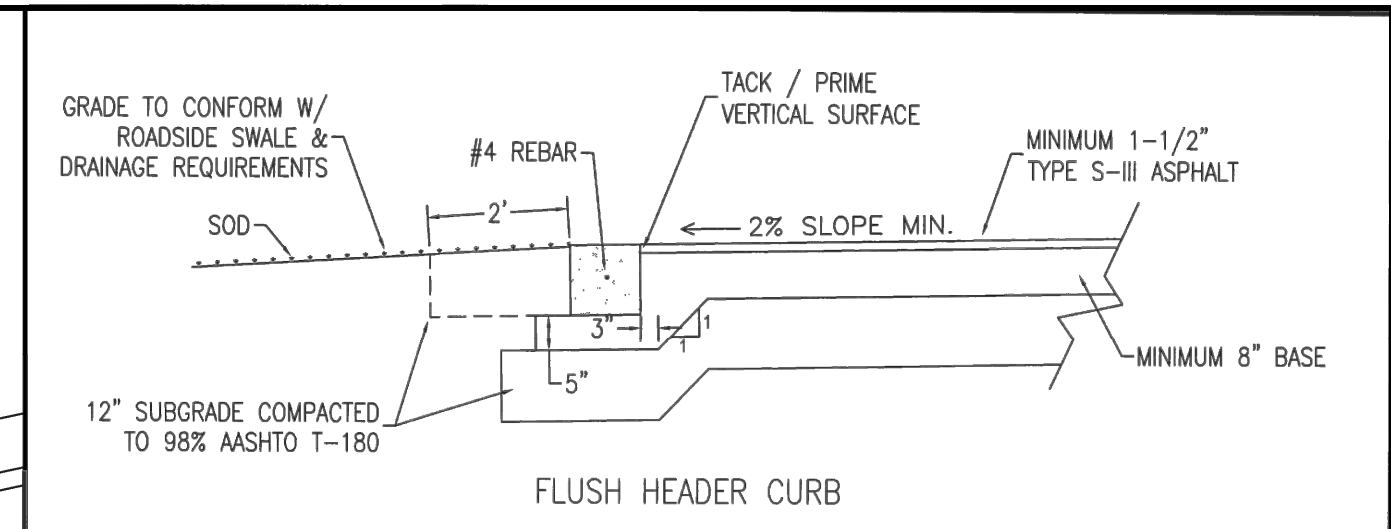
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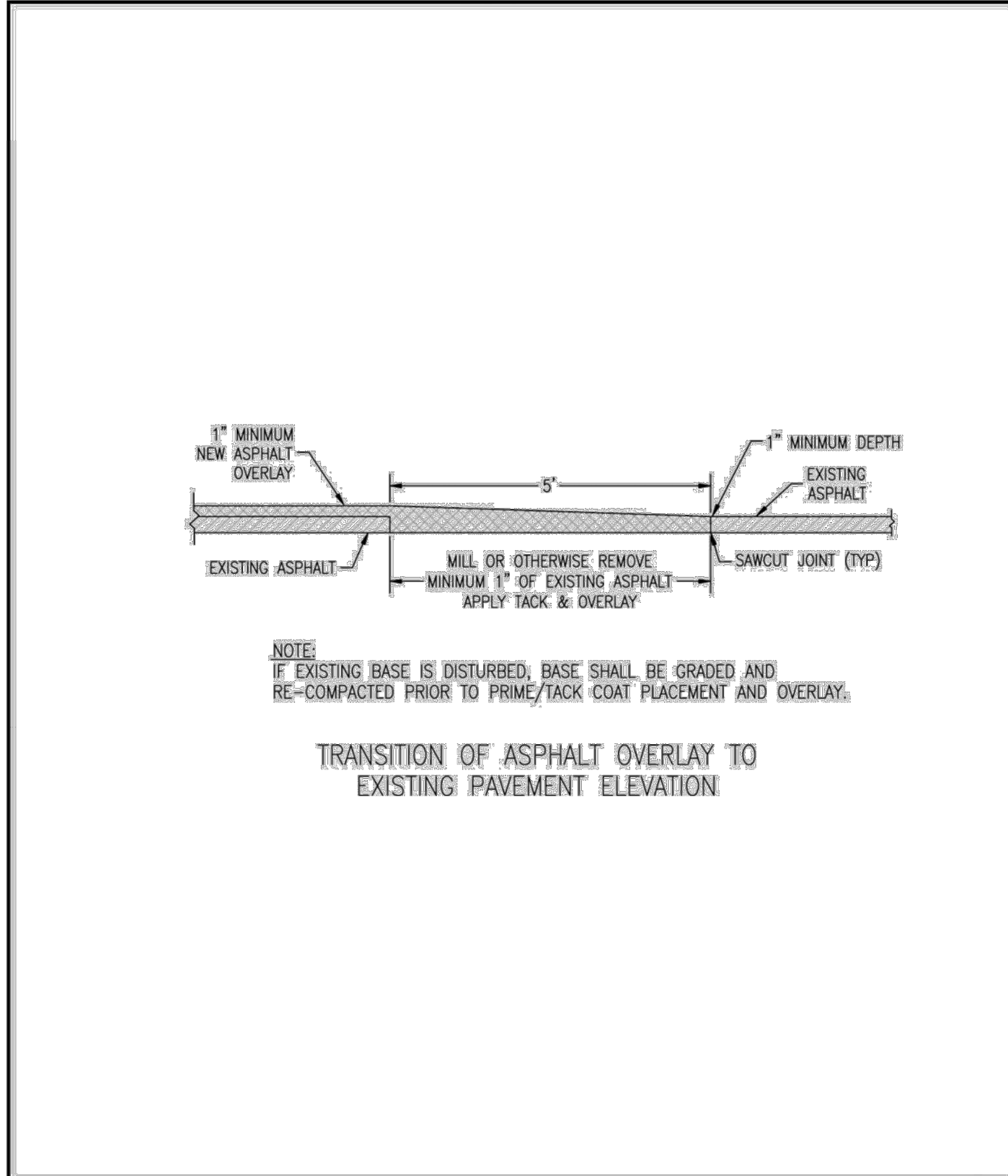
	<b>TOWN OF JUPITER</b> ENGINEERING DIVISION 210 MILITARY TRAIL JUPITER, FLORIDA 33408 (561) 746-5134	<b>Concrete Sidewalk</b> DETAIL AND REQUIREMENTS	DETAIL NUMBER <b>109a</b> Revised 202111
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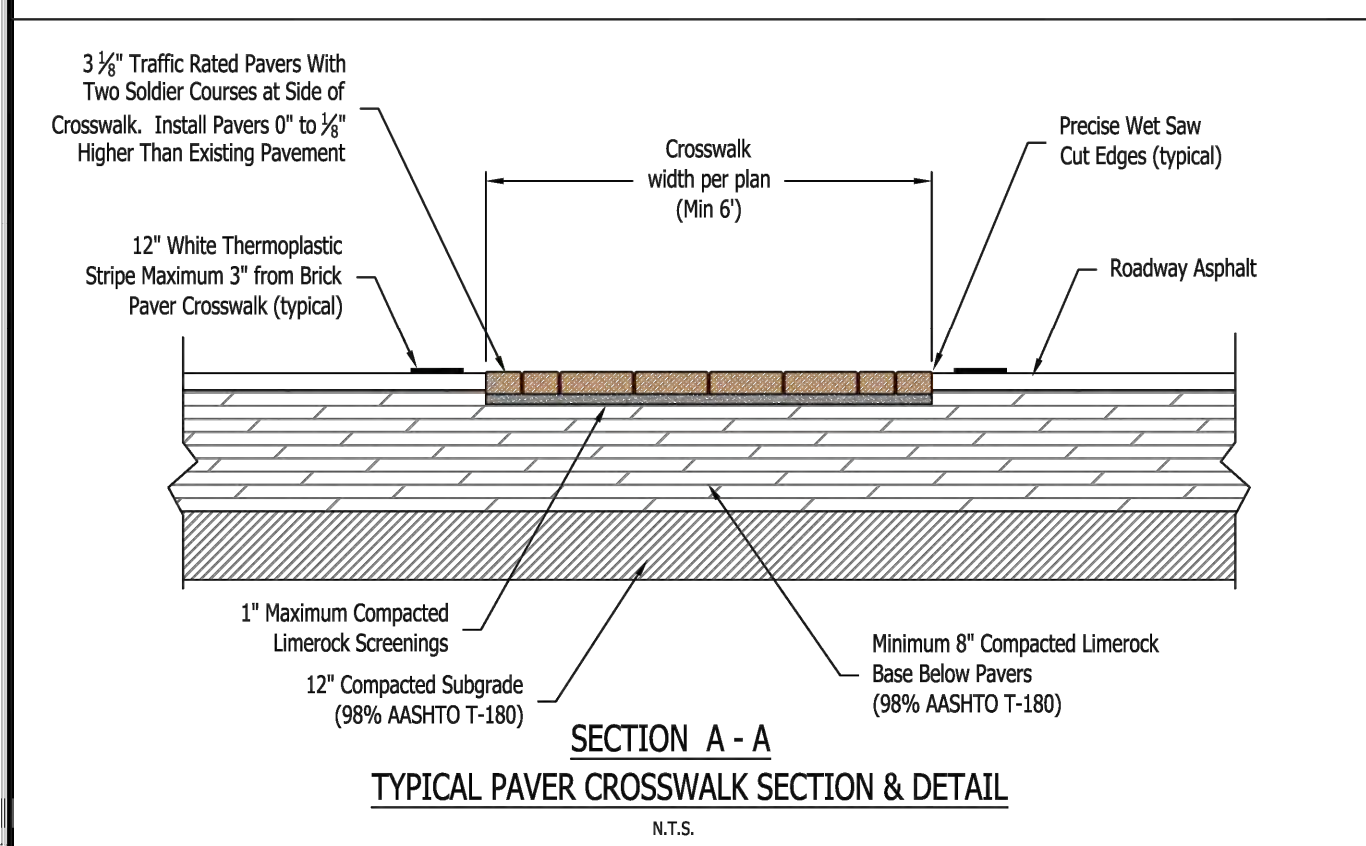
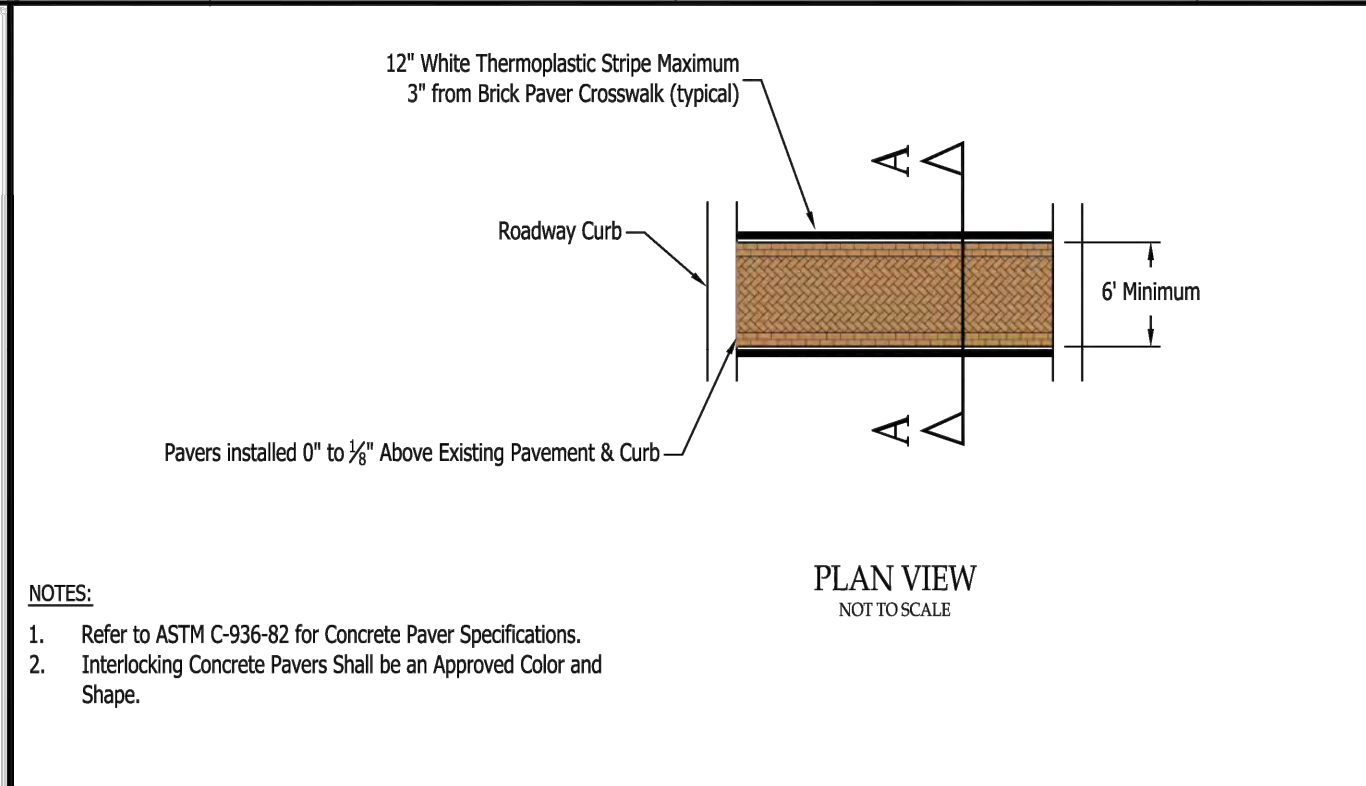
	<b>TOWN OF JUPITER</b> ENGINEERING DIVISION 210 MILITARY TRAIL JUPITER, FLORIDA 33408 (561) 746-5134	<b>ADA SIDEWALK RAMP</b> DETAIL AND REQUIREMENTS	DETAIL NUMBER <b>109b</b> Revised 202008
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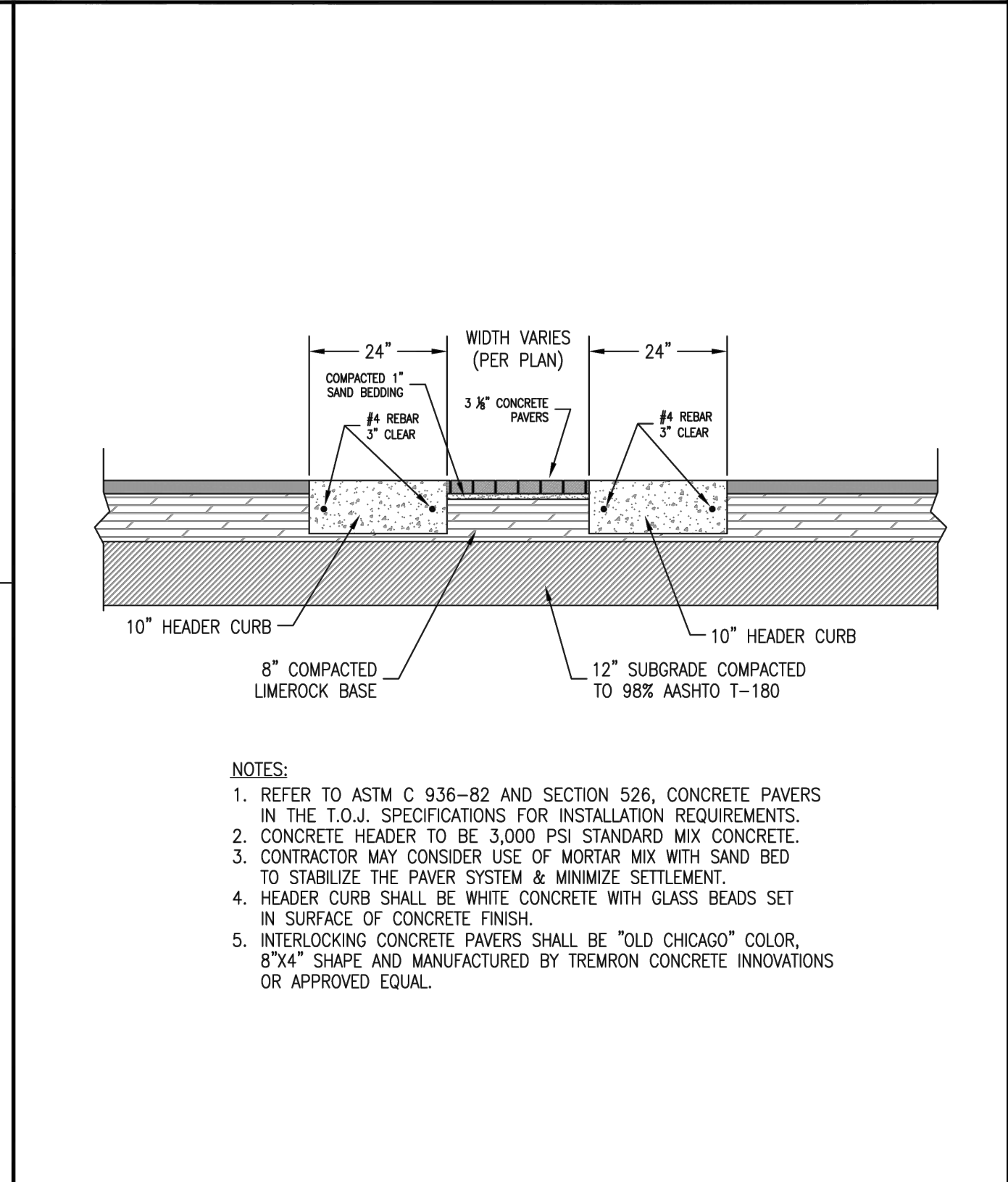
	<b>TOWN OF JUPITER</b> ENGINEERING DIVISION 210 MILITARY TRAIL JUPITER, FLORIDA 33408 (561) 746-5134	<b>PAVEMENT EDGE FLUSH HEADER CURB</b> DETAIL AND REQUIREMENTS	DETAIL NUMBER <b>110</b> Revised 202005
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	<b>TOWN OF JUPITER</b> ENGINEERING DIVISION 210 MILITARY TRAIL JUPITER, FLORIDA 33408 (561) 746-5134	<b>ASPHALT OVERLAY</b> Transition to Existing Asphalt DETAIL AND REQUIREMENTS	DETAIL NUMBER <b>112a</b> Revised 202002
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	<b>TOWN OF JUPITER</b> ENGINEERING DIVISION 210 MILITARY TRAIL JUPITER, FLORIDA 33408 (561) 746-5134	<b>CONCRETE PAVER SYSTEM</b> for CROSSWALKS DETAIL AND REQUIREMENTS	DETAIL NUMBER <b>116</b> Revised 1/21/2014
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	<b>TOWN OF JUPITER</b> ENGINEERING DIVISION 210 MILITARY TRAIL JUPITER, FLORIDA 33408 (561) 746-5134	<b>PAVER PEDESTRIAN CROSSING &amp; SPECIAL HEADER CURB</b> DETAIL AND REQUIREMENTS	DETAIL NUMBER <b>117</b> Revised 200805
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WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT  
140790002

DATE  
MAY 2025

SCALE AS SHOWN

DESIGNED BY SS

DRAWN BY SS

CHECKED BY TCJ

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PREPARED FOR  
**LOXAHATCHEE RIVER DISTRICT**

JUPITER, FLORIDA

LICENSED PROFESSIONAL

THOMAS C. JENSEN

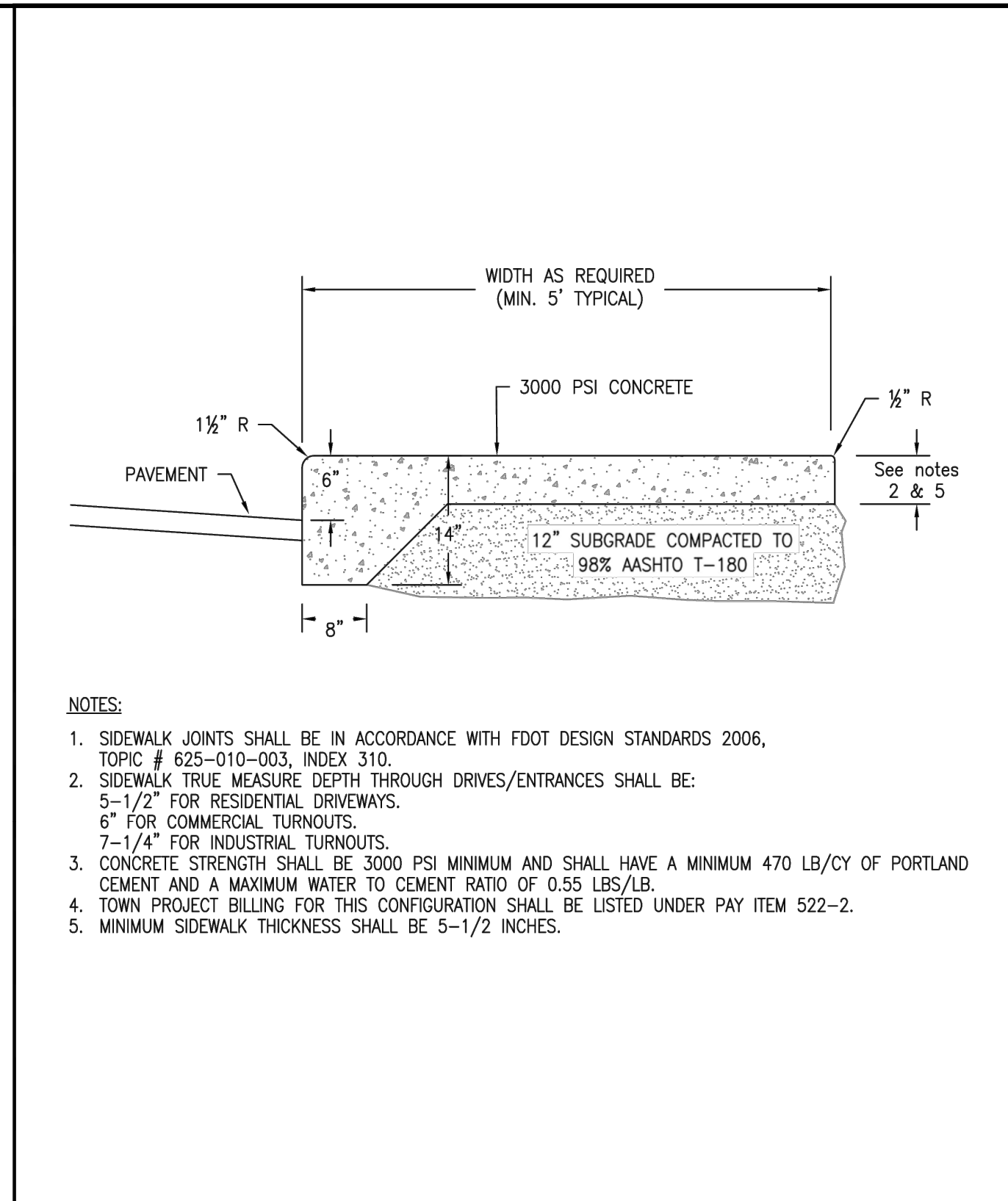
37290

DATE: \_\_\_\_\_

**TOWN OF JUPITER STANDARD DETAILS**

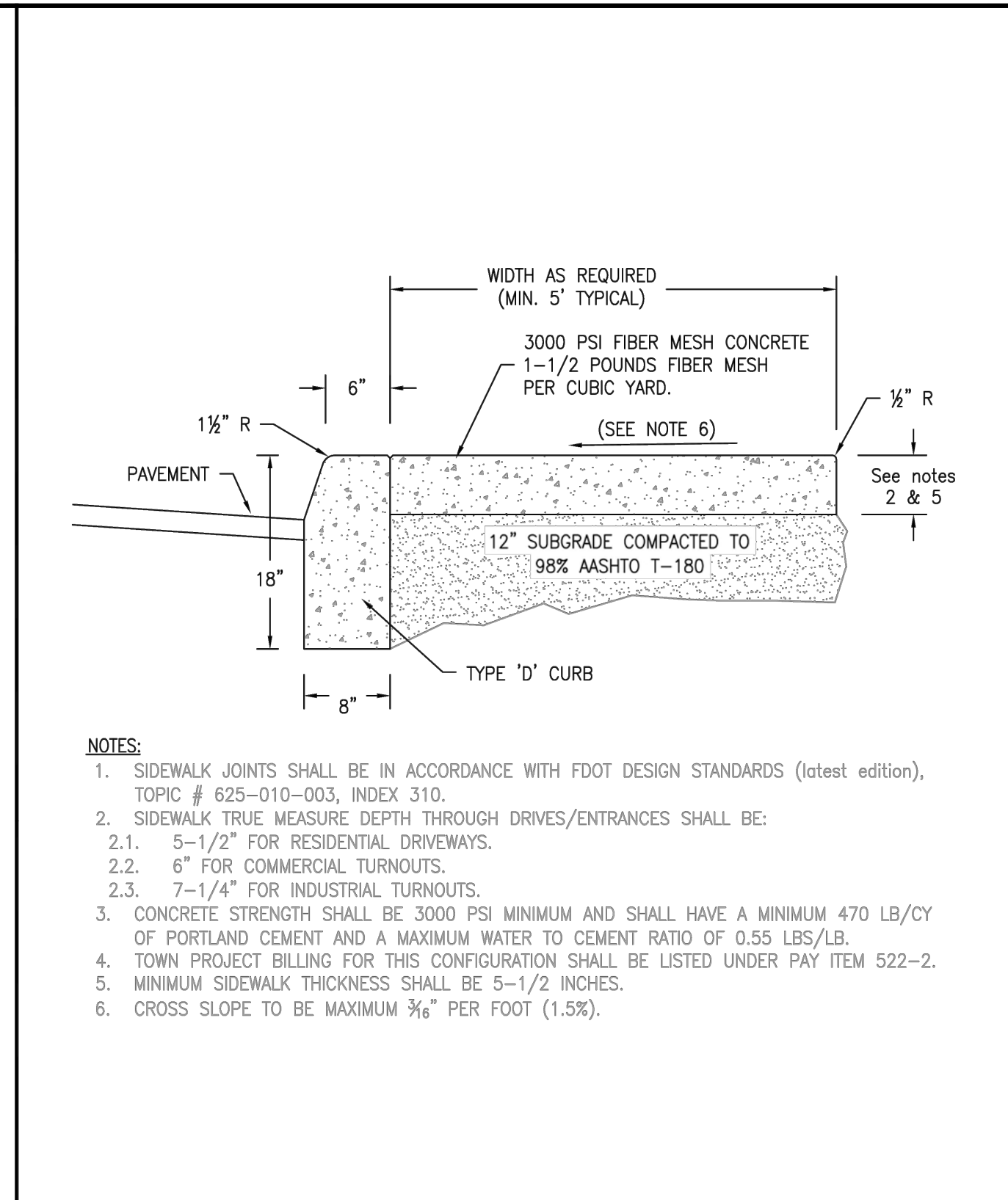
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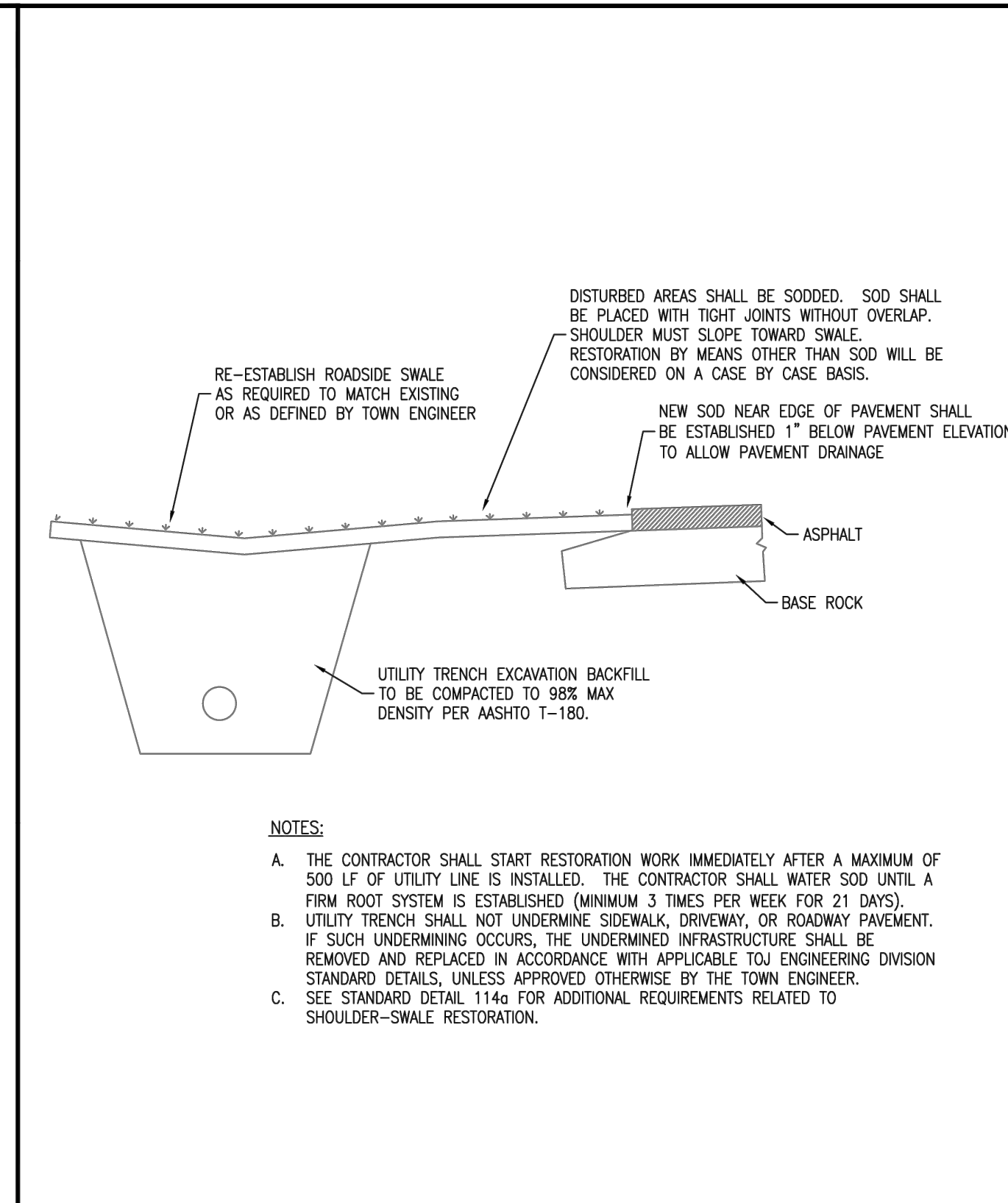
**TOWN OF JUPITER**  
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210 MILITARY TRAIL  
JUPITER, FLORIDA 33458  
(561) 746-5134

**THICKENED EDGE SIDEWALK**  
DETAIL AND REQUIREMENTS  
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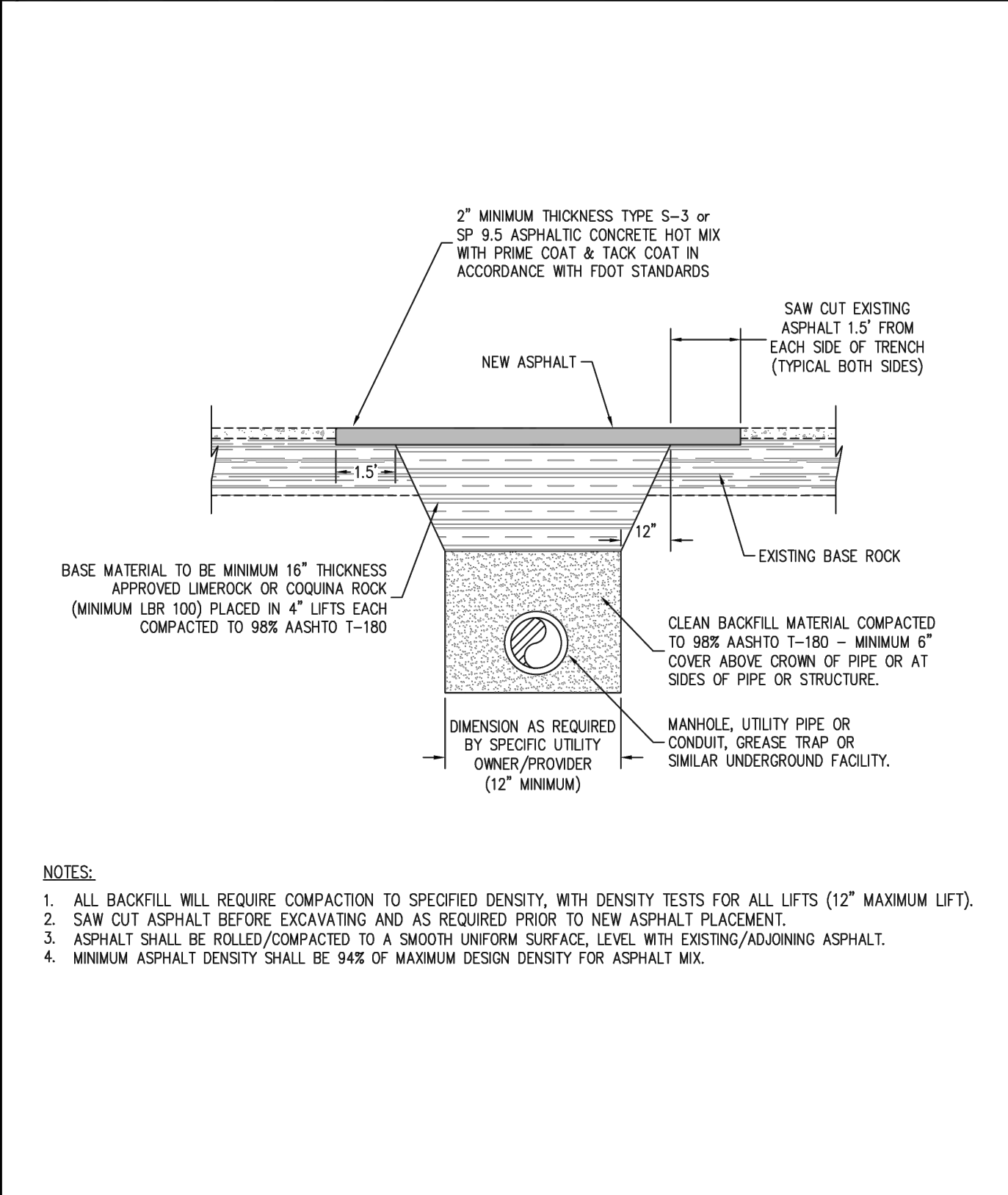
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ENGINEERING DIVISION  
210 MILITARY TRAIL  
JUPITER, FLORIDA 33458  
(561) 746-5134

**RAISED SIDEWALK WITH 'D' CURB**  
DETAIL AND REQUIREMENTS  
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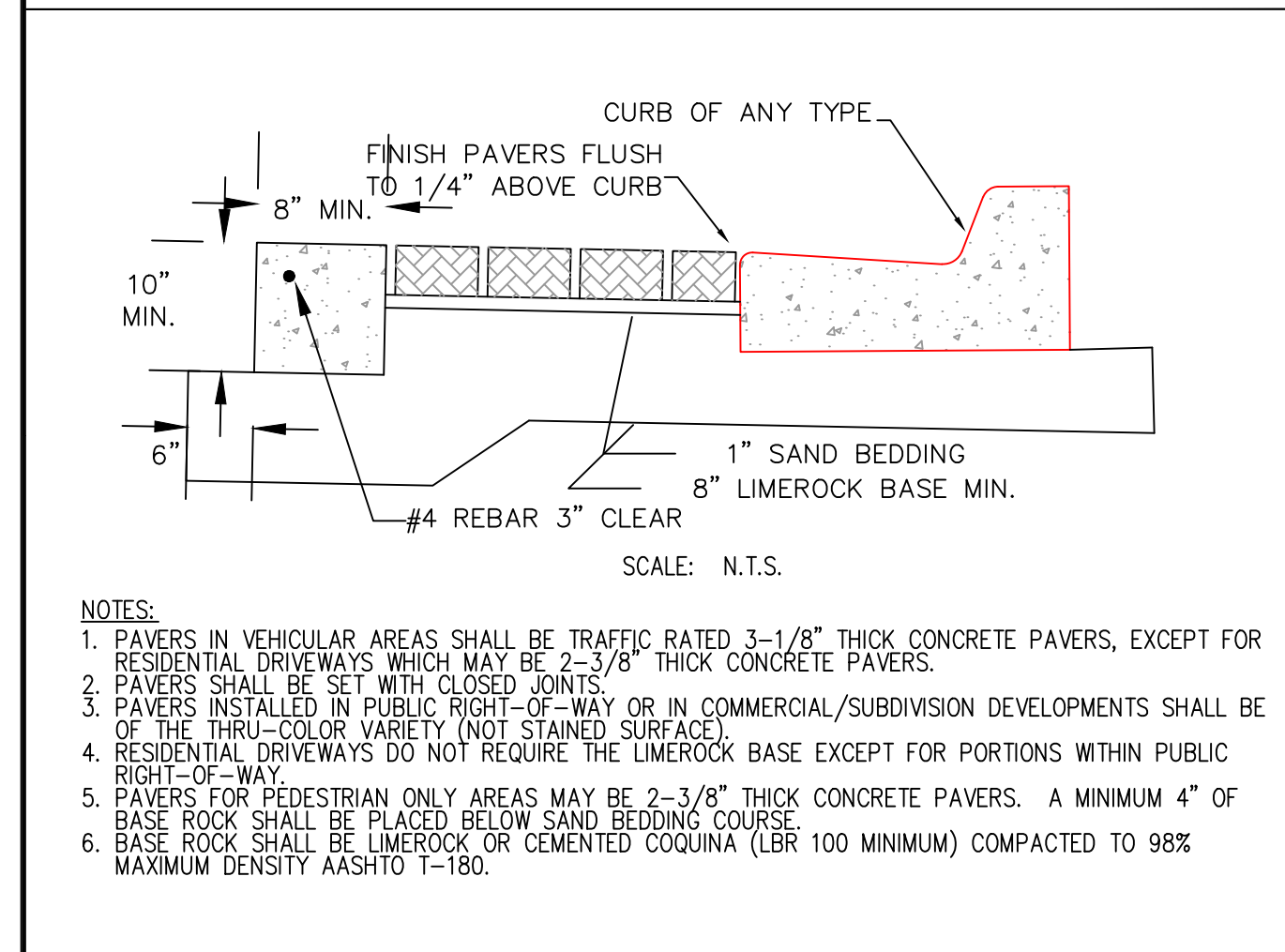
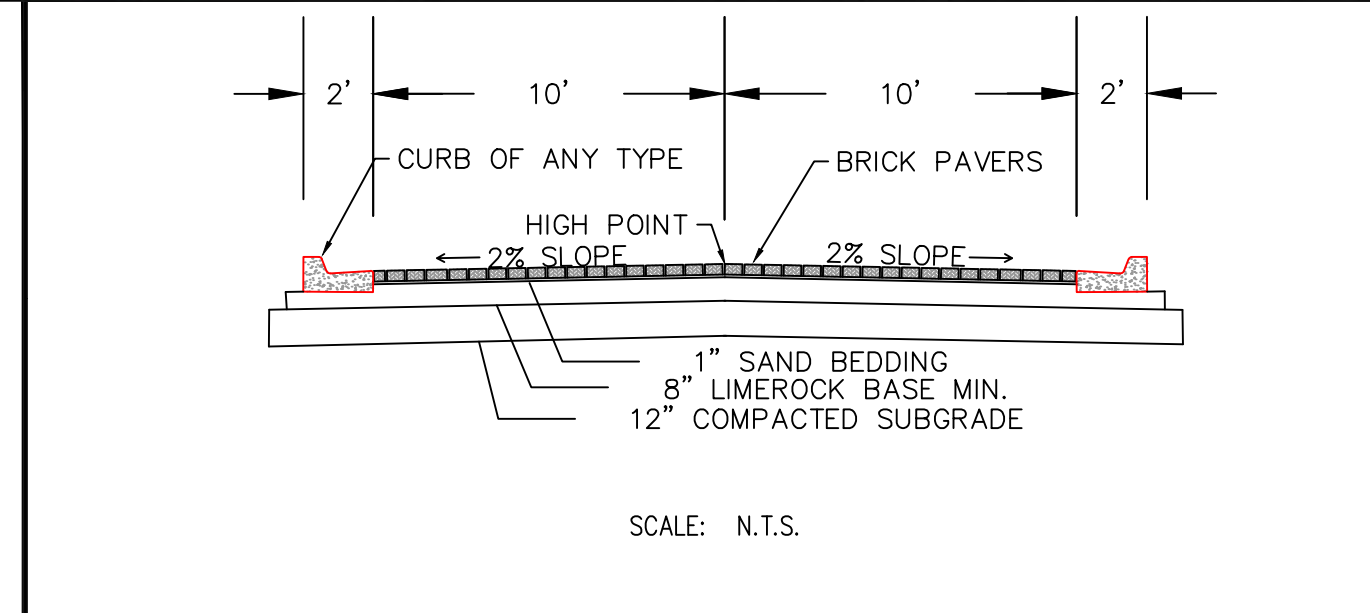
**TOWN OF JUPITER**  
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210 MILITARY TRAIL  
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**UTILITY TRENCH SHOULDER RESTORATION**  
DETAIL AND REQUIREMENTS  
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JUPITER, FLORIDA 33458  
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**UTILITY TRENCH PAVEMENT RESTORATION**  
DETAIL AND REQUIREMENTS  
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ENGINEERING DIVISION  
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JUPITER, FLORIDA 33458  
(561) 746-5134

**BRICK PAVERS**  
TYPICAL SECTION DETAIL  
DRAWING BY: JKR  
REVISION DATE: 08/30/01  
FILE NAME: V:\Drawings\Engineering\Details\Drawings.dwg  
APPROVED BY: DPK

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KHA PROJECT  
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**A1A AND OCEAN PARKS  
FM REPLACEMENT**  
PREPARED FOR  
**LOXAHATCHEE RIVER DISTRICT**

JUPITER, FLORIDA

LICENSED PROFESSIONAL  
THOMAS C. JENSEN  
37290

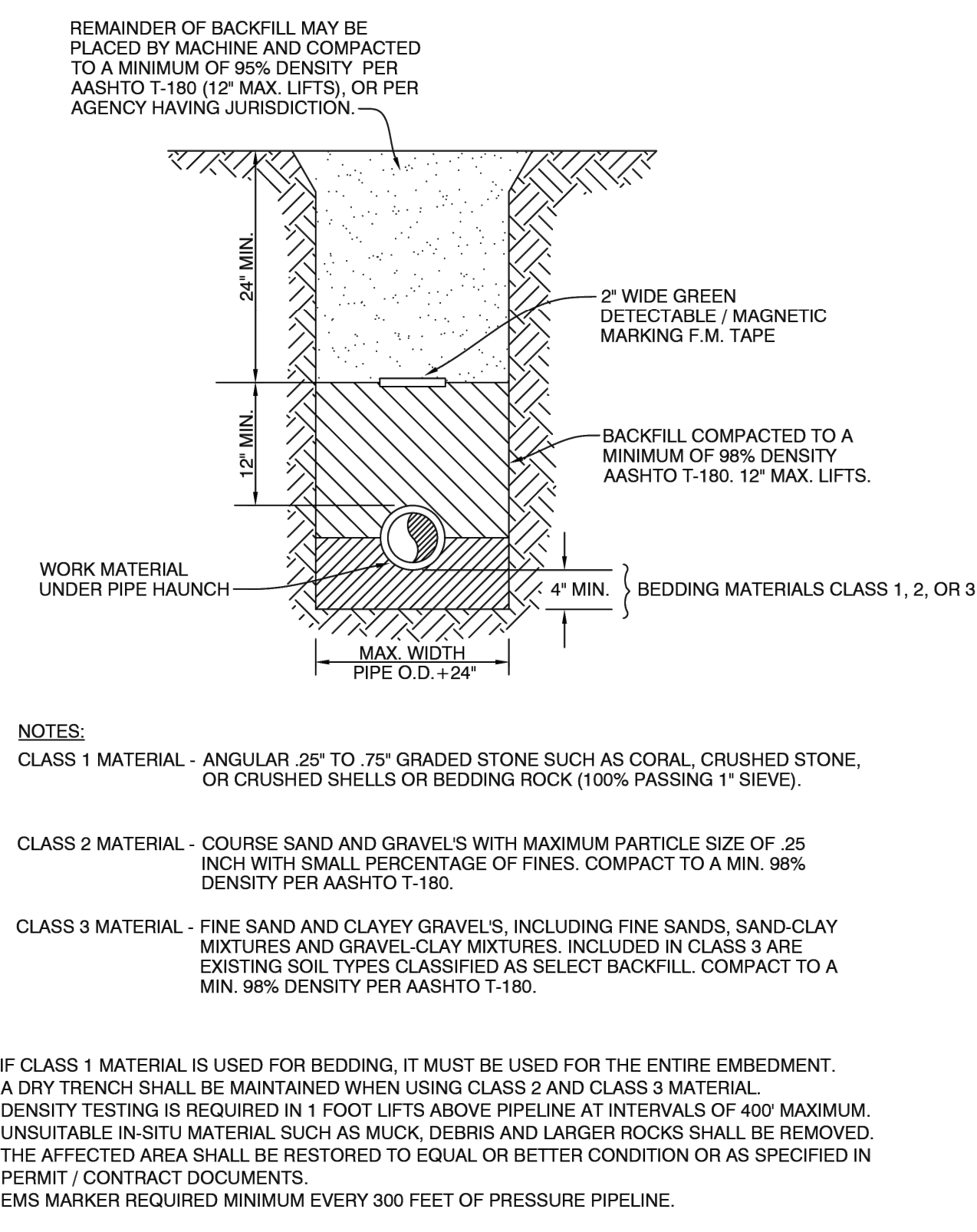
FLORIDA DATE: \_\_\_\_\_

**TOWN OF JUPITER STANDARD  
DETAILS**

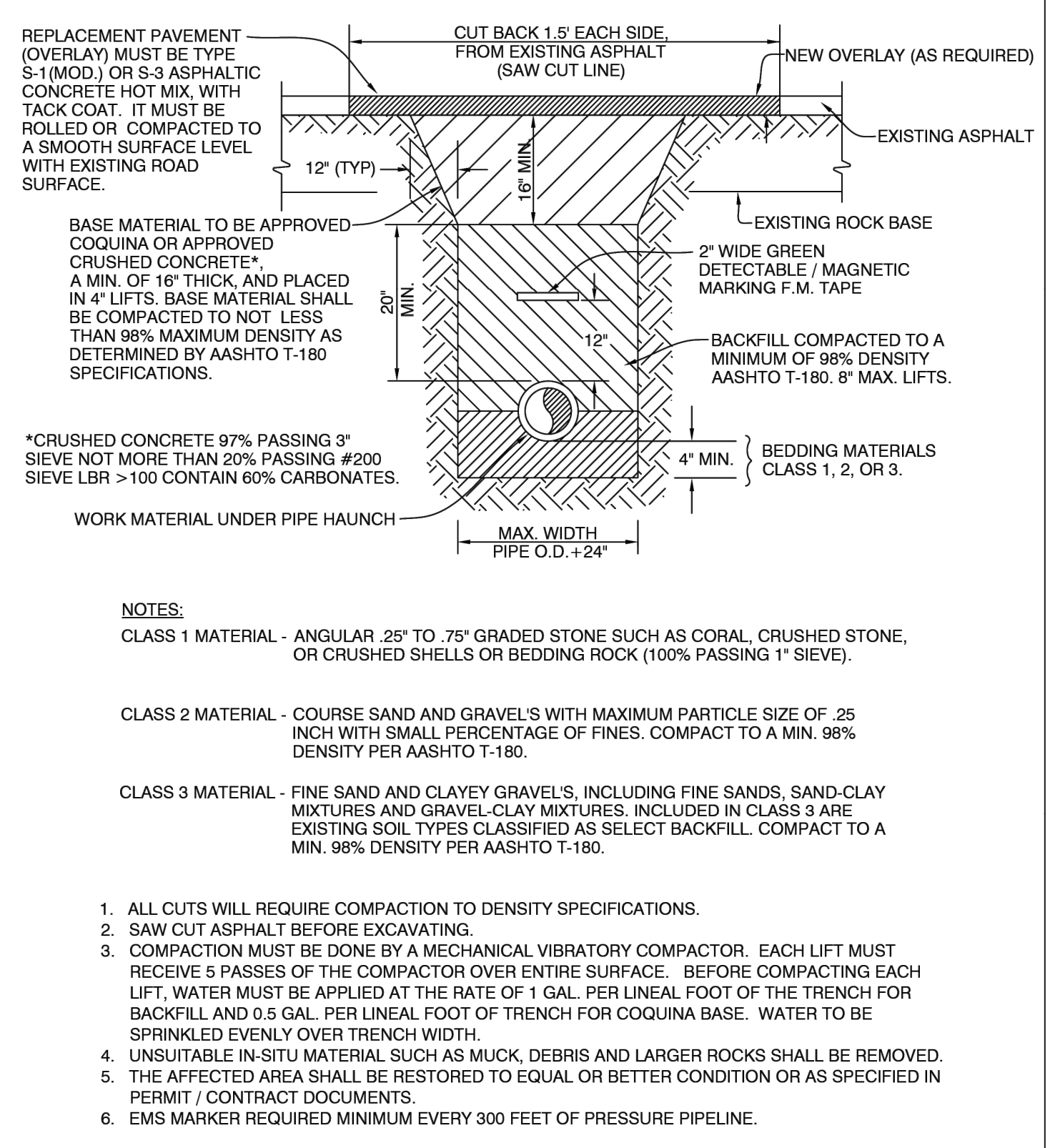
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No.	REVISIONS	DATE	BY

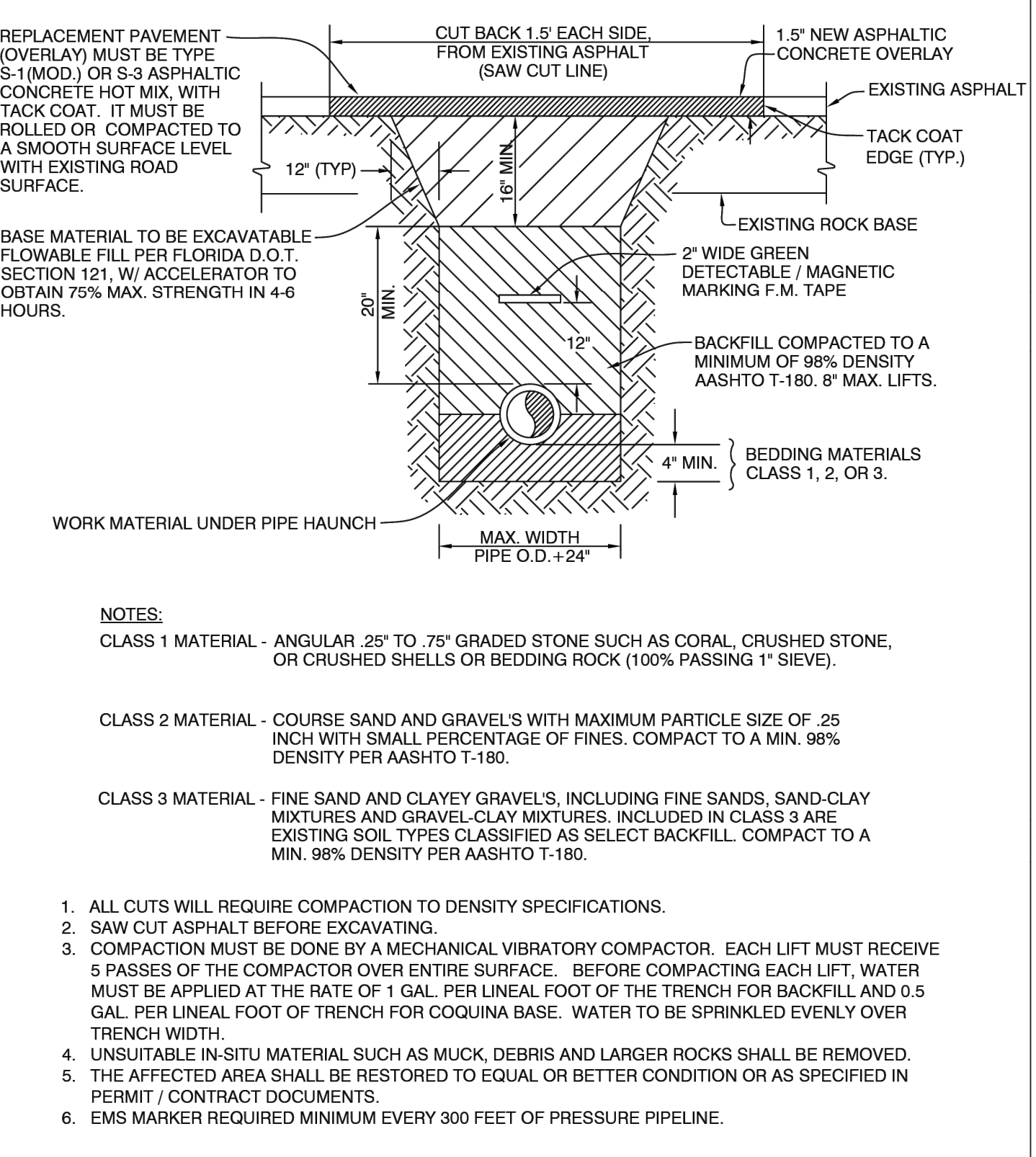
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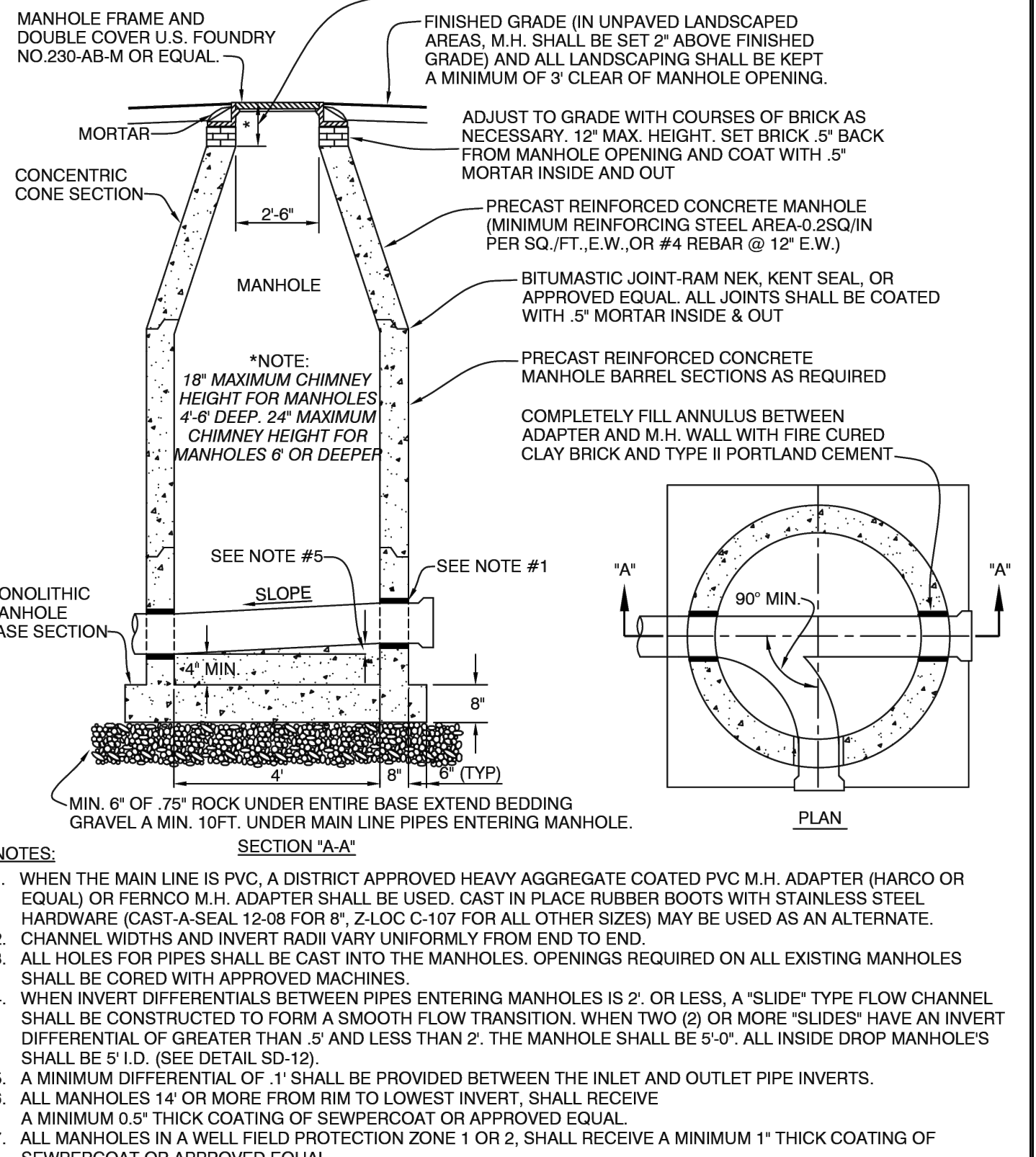
LOXAHATCHEE RIVER DISTRICT  
TYPICAL TRENCH DETAIL FOR NON - PAVED AREAS  
SD-1



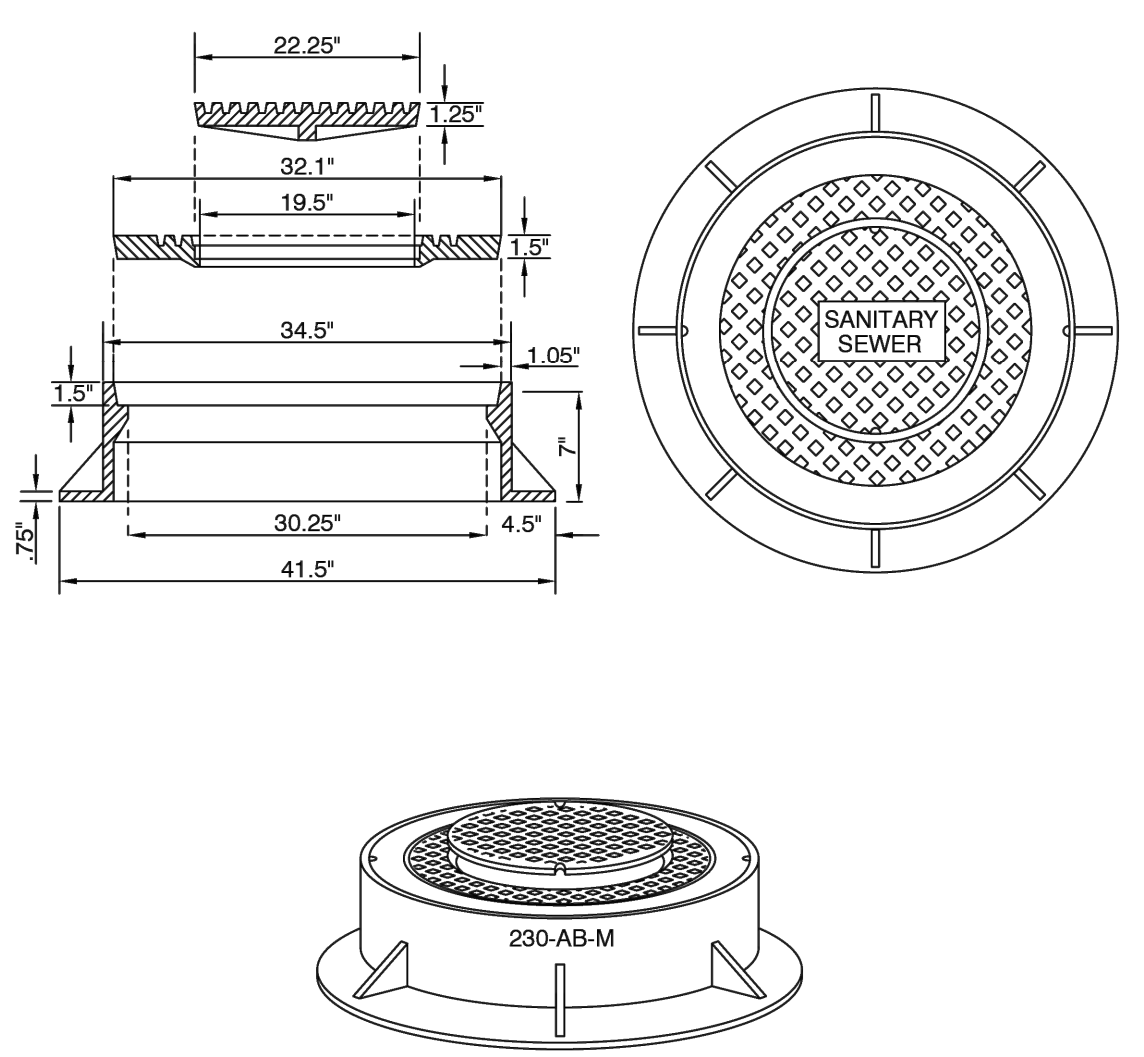
LOXAHATCHEE RIVER DISTRICT  
TYPICAL TRENCH & PAVEMENT RESTORATION DETAIL  
SD-2



LOXAHATCHEE RIVER DISTRICT  
TYPICAL TRENCH & PAVEMENT RESTORATION W/ FLOWABLE FILL DETAIL  
SD-3



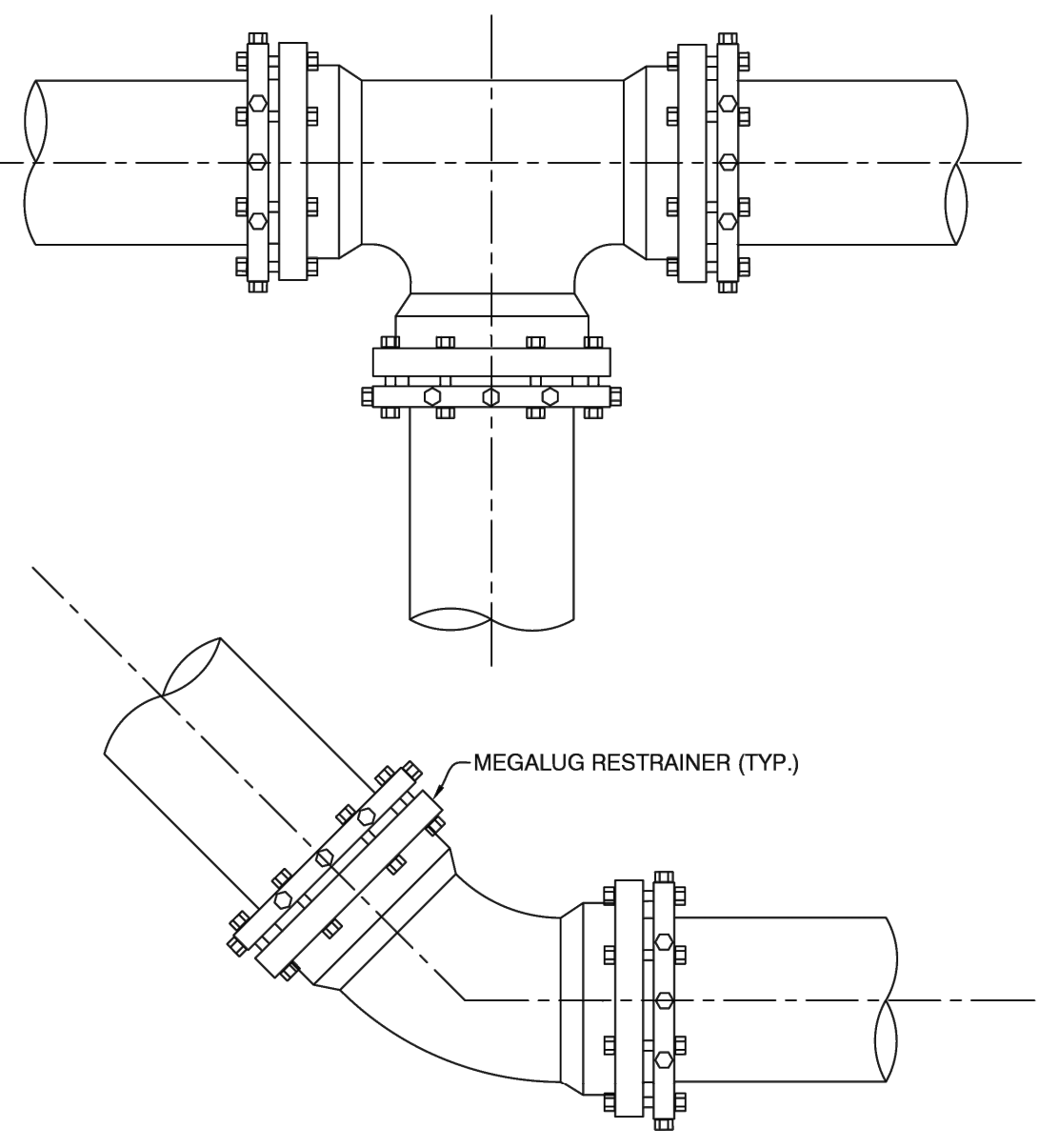
LOXAHATCHEE RIVER DISTRICT  
PRECAST MANHOLE DETAIL  
SD-11



LOXAHATCHEE RIVER DISTRICT  
MANHOLE FRAME AND COVER DETAIL  
SD-13

TYPE	MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)									
	PIPE SIZE									
	4"	6"	8"	10"	12"	16"	20"	24"	30"	36"
90° BEND	18	24	31	38	43	55	65	75	88	100
45° BEND	8	10	13	15	18	23	26	31	38	43
22-1/2° BEND	4	5	6	8	9	11	13	15	18	20
11-1/4° BEND	2	3	4	5	6	8	9	10	11	13
PLUG OR BRANCH OF TEE	38	50	65	79	90	117	139	163	194	223
VALVE	19	25	32	40	45	59	70	82	98	112
REDUCER	VARIES BY SIZE; TO BE DETERMINED BY THE DESIGN ENGINEER									

LOXAHATCHEE RIVER DISTRICT  
FORCE MAIN THRUST RESTRAINT CHART  
SD-18



LOXAHATCHEE RIVER DISTRICT  
FORCE MAIN THRUST RESTRAINT DETAIL  
SD-19

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY THOMAS C. JENSEN ON DATE ADJACENT TO SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ELECTRONIC COPIES.

CALL 2 WORKING DAYS BEFORE YOU DIG  
IT'S THE LAW! DIAL 811  
Know what's below. Call before you dig.  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

No.	REVISIONS	DATE	BY

**Kimley Horn**  
KHA PROJECT 140790002  
DATE MAY 2025  
SCALE AS SHOWN  
DESIGNED BY SS  
DRAWN BY SS  
CHECKED BY TCJ  
1920 WEKIVA WAY SUITE 200, WEST PALM BEACH, FL 33411  
PHONE: 561-845-0665 FAX: 561-863-8175  
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

**A1A AND OCEAN PARKS FM REPLACEMENT**  
PREPARED FOR  
**LOXAHATCHEE RIVER DISTRICT**  
JUPITER, FLORIDA

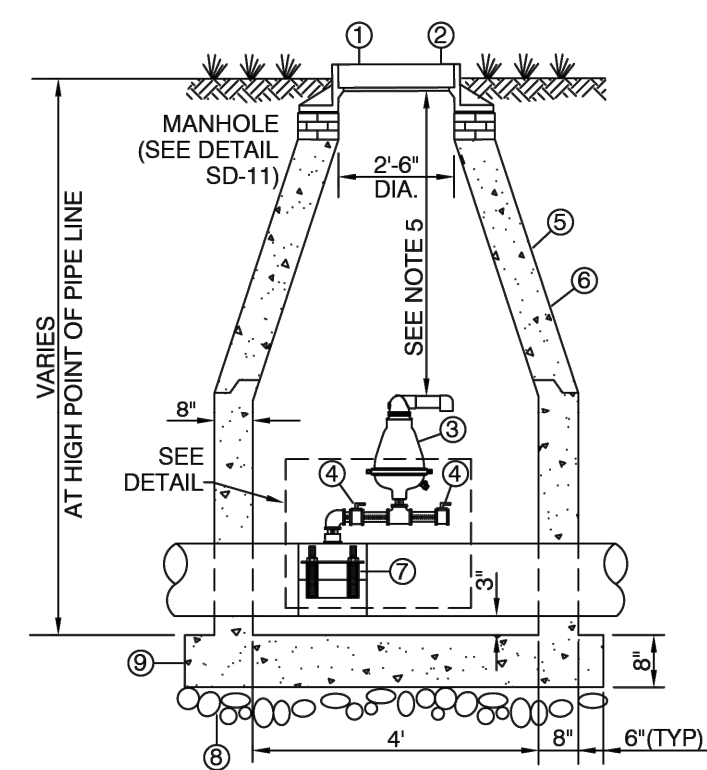
LICENSED PROFESSIONAL  
THOMAS C. JENSEN  
37290  
DATE: \_\_\_\_\_

**LRD STANDARD UTILITY DETAILS**

SHEET NUMBER  
**C-15**



This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of any improper reference on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



- ① - MH COVER TO BE PLACED 2" ABOVE FINISHED GRADE IN LANDSCAPE AREAS
- ② - FRAME AND DOUBLE COVER U.S. FOUNDRY #230-AB-M OR EQUAL
- ③ - A.R.I. MODEL #D-025, SHORT VERSION COMBINATION AIR VALVE
- ④ - 2" 316 SS BALL VALVE, McMASTER - CARR, MODEL #46495K26 OR APPROVED EQUAL
- ⑤ - PRE CAST CONE SECTION
- ⑥ - 4" DIA. PRE CAST M.H. SECTION PER A.S.T.M. C-478
- ⑦ - 316 SS DOUBLE BOLT SERVICE SADDLE W/2" N.P.T. THREADED OUTLET. THE SERVICE SADDLE & HARDWARE SHALL ALL BE 316 SS
- ⑧ - MIN. 6" OF .75" GRAVEL UNDER ENTIRE BASE
- ⑨ - MONOLITHIC BASE SECTION

- NOTES:**
- ALL MATERIAL, FITTINGS, VALVES, NIPPLES, AND HARDWARE TO BE MIN. 304 SS INSIDE MANHOLE.
  - VALVES SHALL HAVE ALL LOCKING MECHANISMS REMOVED, BE IN THE UPRIGHT POSITION, ACCESSIBLE AND OPERATIONAL VIA VALVE KEY FROM ABOVE.
  - CENTER ARV UNDER MANHOLE OPENING.
  - IN SITUATIONS WHERE A FORCE MAIN CROSSES A CANAL OR IS ATTACHED TO A BRIDGE, WHERE A STRUCTURE IS NOT NECESSARY, AN A.R.V TYPE A.R.I. MODEL #D-025 SHALL BE USED.
  - TOP OF AIR RELEASE VALVES SHALL BE NO LESS THAN 12" FROM INSIDE MANHOLE RIM ELEVATION AND NO GREATER THAN 24".
  - MANHOLE COVER SHALL BE MARKED "SEWER".

LOXAHATCHEE RIVER DISTRICT	
N.T.S. REVISION: SEP, 2022	<b>AUTOMATIC AIR RELEASE VALVE DETAIL</b>
	SD-24

**RECORD DRAWING SUBMITTAL GUIDE**

- TWO (2) SETS OF FULL SIZE PRINTS SHALL BE SUBMITTED TO THE DISTRICT FOR REVIEW 48 HOURS PRIOR TO REQUESTING INSPECTIONS SUCH AS, FINAL INSPECTION, PRESSURE TESTS, SANITARY SEWER LAMPING OR ANY OTHER ELEMENT OF THE SYSTEM WHICH IS DETERMINED BY THE DISTRICT TO REQUIRE CLARIFICATION.
- THE DRAWINGS WILL BE REVIEWED BY THE DISTRICT FOR DEFICIENCIES. DEFICIENCIES WILL BE INDICATED ON ONE (1) SET OF PRINTS WHICH WILL BE RETURNED TO THE E.O.R. OR CONTRACTOR FOR NECESSARY CORRECTIVE ACTION.
- UPON CORRECTION, TWO (2) SETS OF FULL SIZE PRINTS (SIGNED/SEALED BY A FLORIDA LICENSED SURVEYOR) SHALL BE SUBMITTED AND A GEOREFERENCED DESIGN AUTOCAD FILE (VERSION 2020 OR LATER).
- NO DISCLAIMERS ON DRAWINGS WILL BE ACCEPTED.
- UPON FINAL SUBMITTAL OF RECORD DRAWINGS, A GEOREFERENCED AUTOCAD FILE (VERSION 2020 OR LATER) AND AN ADOBE PDF "24X36" FILE SHALL BE FURNISHED ON A CD/DVD DISK, THUMB DRIVE OR DOWNLOADABLE LINK EMAILED TO THE DISTRICT. ONLY (1) CAD FILE WITH ALL SHEETS OF RECORD DRAWINGS ALLOWED.

**REQUIRED INFORMATION ON RECORD DRAWINGS**

**GENERAL:**

- DRAWINGS ON 24" X 36" BOND PAPER THAT WILL REPRODUCE LEGIBLY.
- LABEL EACH PLAN SHEET "RECORD DRAWINGS" WITH DATE, COMPLETED TITLE BLOCK WITH CURRENT FILE NAME, SIGNED & SEALED BY A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR.
- ALL SEWER ITEMS SHALL BE CATEGORIZED AND ASSIGNED TO THE DRAWING LAYERS SUCH AS: AB-MANHOLE, AB-FORCEMAIN, AB-VALVE, AB-GRAVITY MAIN, ETC.
- REDRAW ALL SEWER LINES AND INFRASTRUCTURE ON RECORD DRAWINGS AS CONSTRUCTED HORIZONTALLY & VERTICALLY. BOLD, OR HEAVY LINE WORK & TEXT CALL OUTS TO STAND OUT FROM REST OF DRAWING. USING ORIGINAL DESIGN LINENWORK & ONLY UPDATING THE CORRESPONDING TEXT CALLOUTS WILL NOT BE ACCEPTED AS RECORD DRAWINGS.
- ALL ITEMS LISTED BELOW MUST BE CORRECTLY GEOREFERENCED WITH NORTHINGS/EASTINGS CLEARLY SHOWN. THE AS BUILTS SHALL BE GEOREFERENCED TO THE STATE PLANE COORDINATES IN NAD 83, FLORIDA EAST ZONE, WHILE THE VERTICAL DATUM SHALL BE NGVD 29.

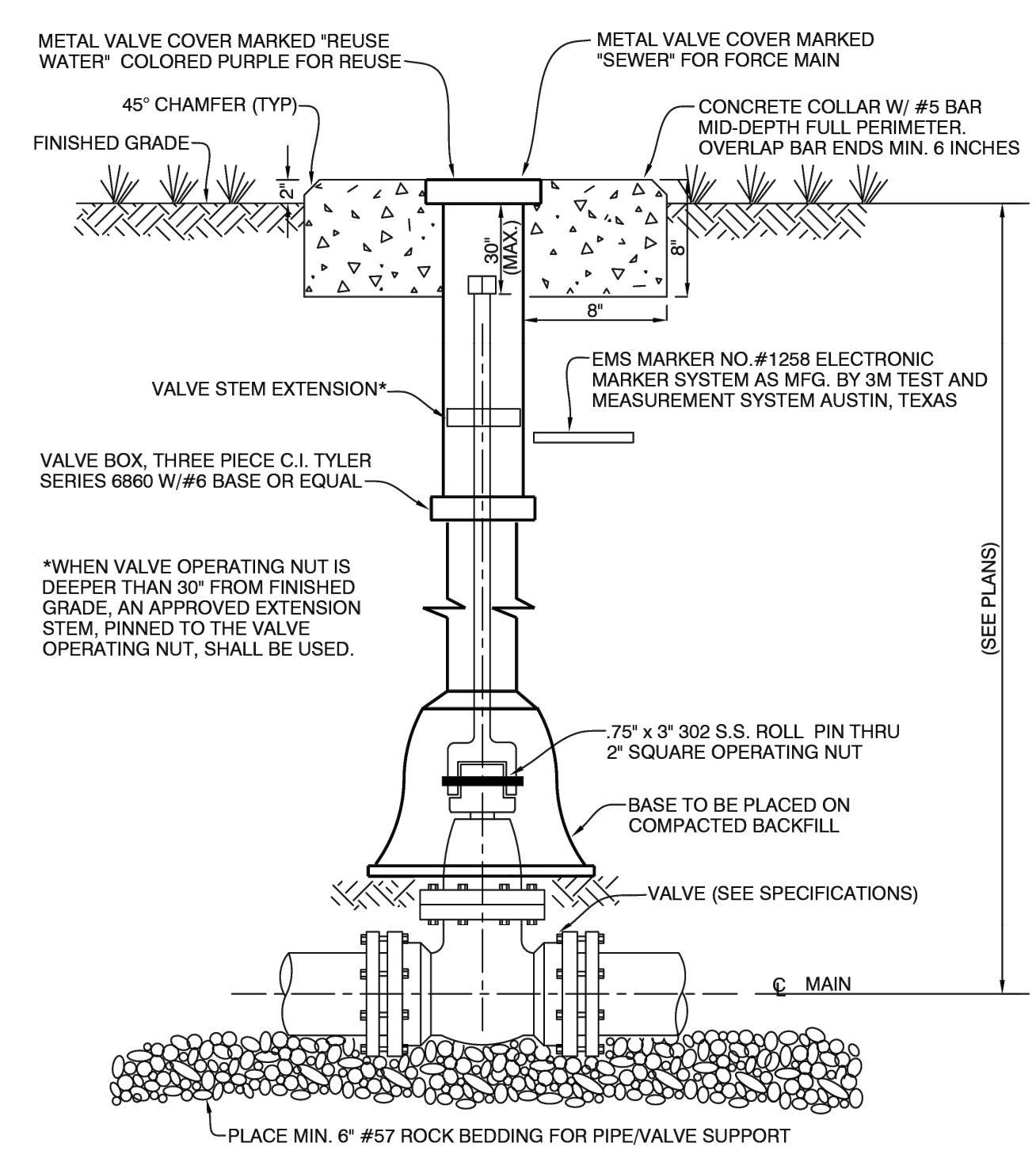
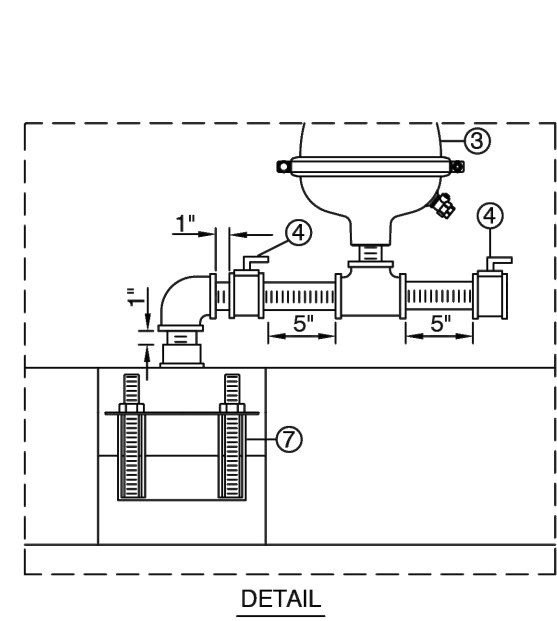
**GRAVITY SEWER:**

- AS-BUILT DISTANCE OF GRAVITY MAIN FROM CENTER LINE OF ROAD OR EASEMENT RIGHT-OF-WAY LINE, BUILDINGS, OR AS DETERMINED BY THE LOXAHATCHEE RIVER DISTRICT. EXTENSIONS OF AN IMAGINARY LINE WILL NOT BE ACCEPTABLE AS REFERENCED POINTS.
- TYPE OF MATERIALS INSTALLED - MAINS AND SERVICES.
- SHOW EACH SEWER SERVICE LATERAL INCLUDING THE CONNECTION TO THE MAIN AND PROVIDE THE NORTHING & EASTING POINTS FOR EACH CLEANOUT & INDICATE CLEANOUT DIAMETER & INVERT ELEVATION.
- AS-BUILT LOCATIONS OF MANHOLES WITH A NORTHING & EASTING PROVIDED.
- AS-BUILT ELEVATIONS, RIM ELEVATION, EACH INVERT AND PIPE SLOPE.
- UPDATE LIFT STATION DETAILS/ELEVATIONS INCLUDING START UP DATA.
- LIFT STATION AND UTILITY EASEMENTS, INCLUDING LOCATION OF F.P.&L. SERVICE TO CONTROL PANEL.

**PRESSURE PIPE:**

- AS BUILT DISTANCE OF FORCE MAINS AT 100' INTERVALS FROM CENTER LINE OF ROAD, EASEMENT, RIGHT-OF-WAY LINE, BUILDINGS, SEWER MAINS OR AS DETERMINED BY THE LOXAHATCHEE RIVER DISTRICT. EXTENSIONS OF AN IMAGINARY LINE WILL NOT BE ACCEPTABLE AS REFERENCED POINTS.
- SHOW ELEVATIONS, NORTHING/EASTING OF EACH VALVE, FITTING, AIR RELEASE VALVE, SERVICE LINE, TAP, ETC.
- TYPE OF MATERIALS INSTALLED - PIPE AND APPURTENANCES. INDICATE ALL LOCATIONS OF CHANGE OF MATERIAL INCLUDING JOINT TYPE (M.J., SLP, RESTRAINED).
- VALVE TYPE (BUTTERFLY, GATE, PLUG) INCLUDING THE NORTHING & EASTING POINT.
- AS BUILT LENGTH OF ALL JACK AND BORE CASINGS INDICATING DISTANCE FROM CENTER LINE OF PAVING TO EACH END OF CASING. THE AS BUILT INVERT ELEVATION OF EACH END OF CASING, (INCLUDING NORTHING/EASTING) AND AS BUILT DISTANCE FROM EACH END OF CASING TO LIMITS OF MECHANICAL JOINT PIPE IS ALSO REQUIRED.
- AS BUILT ELEVATIONS AT 100' INTERVALS AS WELL AS ANY MAJOR CHANGES IN DIRECTION AND/OR ELEVATION. ELEVATIONS SHOWN AT THESE INTERVALS AND CHANGES MUST SHOW TOP OF PIPE ELEVATION, NORTHING/EASTING AND FINISHED GRADE ELEVATION AT THAT LOCATION. SHOW LOCATION OF EMS MARKERS.
- UTILITY EASEMENTS SHALL BE CORRECTLY SHOWN AND DIMENSIONED WITH REFERENCED SEWER FACILITY.

LOXAHATCHEE RIVER DISTRICT	
N.T.S. REVISION: AUG, 2022	<b>RECORD DRAWING SUBMITTAL GUIDE</b>
	SD-29



\*WHEN VALVE OPERATING NUT IS DEEPER THAN 30" FROM FINISHED GRADE, AN APPROVED EXTENSION STEM, PINNED TO THE VALVE OPERATING NUT, SHALL BE USED.

**FORCE MAIN OR REUSE WATER SYSTEM**

LOXAHATCHEE RIVER DISTRICT	
N.T.S. REVISION: JULY, 2019	<b>BURIED VALVE DETAIL</b>
	SD-27

**SEPARATION REQUIREMENTS**

62-555.314 F.A.C. AUGUST 28, 2003

- HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.**
  - NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE INSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
  - NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
  - NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
- VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES.**
  - NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
  - NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE- TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATERMAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
  - AT THE UTILITY CROSSING DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

\*REQUIRED BY: HRS, STATE OF FLORIDA, PALM BEACH COUNTY PUBLIC HEALTH UNIT

LOXAHATCHEE RIVER DISTRICT	
N.T.S. REVISION: APRIL, 2012	<b>STANDARD WATER AND SEWER SEPARATION STATEMENT</b>
	SD-30

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**811**

IT'S THE LAW!  
DIAL 811

Know what's below.  
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

<b>BID SET</b>			
No.	REVISIONS	DATE	BY

Kimley»Horn

1920 WEKIVA WAY SUITE 200, WEST PALM BEACH, FL 33411  
PHONE: 561-845-0665 FAX: 561-863-8175  
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT 140790002
DATE MAY 2025
SCALE AS SHOWN
DESIGNED BY SS
DRAWN BY SS
CHECKED BY TCJ

A1A AND OCEAN PARKS  
FM REPLACEMENT

PREPARED FOR  
**LOXAHATCHEE RIVER DISTRICT**

JUPITER, FLORIDA

LICENSED PROFESSIONAL

THOMAS C. JENSEN

37290

LRD STANDARD UTILITY DETAILS

SHEET NUMBER

C-16

Loxahatchee River District  
A1A Force Main Replacement  
**Pre-Bid Conference Meeting Minutes**  
**(ITB-25-003-00142)**  
Teams Meeting – July 22, 2025, at 2 P.M.  
- All discussion items in italics -

**Kimley-Horn – Tom Jensen:**

**Introductions**

**Owner:** Loxahatchee River District

- Kris Dean, P.E., Deputy Executive Director
- Courtney Jones, P.E., Director of Engineering
- Sharyn Allen, Purchasing Agent, [Sharyn.allen@lrecd.org](mailto:Sharyn.allen@lrecd.org)

**Engineer of Record:** Kimley-Horn

- Thomas C. Jensen, P.E.
- Mark Muchechetere

**The Project:**

*This Project will replace an existing 10-inch cement asbestos force main that runs within AIA from just north of Indiantown Road to north of Jupiter Beach Road, total length is 3,335LF. Four (4) 12-inch HDPE DR11 directional drills are proposed with the remaining pipe being open cut, five (5) connections to existing force mains along the project route, with road restoration. The Project has work occurring within PB County and Town of Jupiter Rights of Way.*

**General Items:**

- *Bid opening date/time: August 5, 2025, at 2p*
- *Last day for questions: July 24, 2025*
- *All correspondence should be directed to; [Sharyn.allen@lrecd.org](mailto:Sharyn.allen@lrecd.org)*
- *Engineer's Construction Cost Estimate: \$1,324,905*
- *Addendum Items to be issued:*
  1. *PBC R/W Draft Permit Issued (Required Contractor license/insurance)*
  2. *Issue revised sheets that addressed PBC concerns*
  3. *Ocean Parks Draft easement legal/sketch*
  4. *Clarify Bid Items 8.d and 8.h*

**Contractor Questions: (None)**

**Loxahatchee River Environmental Control District – Kris Dean:**

1. *Experience – Instructions to Bidders – paragraph 26. 5 projects w/in 5 years. Projects shall be underground utility and right of way restoration; min. value each project \$250,000.*
2. *Contract Time*
  - a. *Substantial: 180 Days*

- b. *Final: 65 Days from Substantial*
- 3. *Notice to Proceed*
  - a. *Issued within 90 days of Contract Award*
  - b. *Award scheduled for September 18, 2025*
- 4. *Insurance Requirements – Special Conditions 9.08*
  - a. *Insurance requirements apply to prime-contractor and subcontractors.*
- 5. *Bond Requirements*
  - a. *Bid Bond*
    - i. *10% of Bid Amount*
    - ii. *Due within 48 hours of Bid Due Date. Bid Bonds due by 2:00 p.m. local time on August 7, 2025*
  - b. *Public Construction Bond*
    - i. *100% of contract amount*
  - c. *Maintenance Bond*
    - i. *50% of contract amount*
    - ii. *Effective from Final Completion to 1 year from Final Completion.*
    - iii. *Surety Company Requirements*
      - 1. *Is admitted/authorized to do business in the State of Florida and complies with the provisions of Section 255.05, Florida Statutes;*
      - 2. *Has been in business and has a record of successful continuous operations for at least five (5) years;*
      - 3. *Files a certified copy of a power of attorney with the signed Bid, Public Construction, or Maintenance bonds;*
      - 4. *Bonds list the surety's agency name, address, and telephone number on all bonds;*
      - 5. *Bests Ratings: Class VII or better*
- 6. *Health Safety and Environmental Performance*
  - a. *Instructions to Bidders, paragraph 23.*
  - b. *Bid submittal to include*
    - i. *OSHA Form 300A*
    - ii. *Experience Modification Rating Letter*
    - iii. *Health Safety and Environmental Program*
    - iv. *Training Records for previous 36 months*
- 7. *Contractor Evaluation Report – Appendix B*
  - a. *Evaluations will be used for future bid evaluations*
- 8. *Liquidated Damages*
  - a. *Substantial: \$500/calendar day*
  - b. *Final: \$150/calendar day*
- 9. *Bids*
  - a. *Bid Format – PDF*
  - b. *Bid Bond Format – Hard Copy submit to:*

*Kris Dean, P.E., Deputy Executive Director  
Loxahatchee River Environmental Control District  
2500 Jupiter Park Drive  
Jupiter, FL 33458*

- c. *Bid Venue - This solicitation has been issued as an Electronic Bid with the same title on DemandStar. To submit a response for this bid electronically follow the instructions on DemandStar. Electronic responses are the only method allowed for Bidders to respond to this solicitation. Bids shall be submitted on or before the date and time specified. Bid bonds shall be submitted as a hard copy to the District within 48 hours of submittal.*

10. *Holiday Schedule*

- a. *New Years Day*
- b. *Martin Luther King Day*
- c. *Memorial Day*
- d. *Juneteenth*
- e. *Independence Day*
- f. *Labor Day*
- g. *Veteran's Day*
- h. *Thanksgiving - Thursday and Friday*
- i. *Christmas Eve and Christmas*

**QUESTIONS:** (None)

**On Line Attendees:**

Juan Barreneche  
Rowdy Carlton  
Hamill Andrade  
Kira Whinery  
Mike B  
Jordan Zahlene  
Ilia Lyssenko  
Laura Neandros  
Jason Wadsworth  
Larry Roof Pabon Engineering  
Johnson Davis  
Read.AI Meeting Notes  
Nathan's Note Taker